



Board of Adjustment Staff Report

Meeting Date: October 1, 2015

Subject: Special Use Permit Case Number SB15-004
Applicants: Jacques and Beth LeFriant
Agenda Item Number: 9C
Project Summary: Major Grading and construction of a driveway within a Sensitive Stream Zone Buffer Area
Recommendation: Approval with Conditions
Prepared by: Roger Pelham, MPA, Senior Planner
Planning and Development Division
Washoe County Community Services Department
Phone: 775.328.3622
E-Mail: rpelham@washoecounty.us

Description

Special Use Permit Case Number SB15-004 (LeFriant Family Trust) – Hearing, discussion, and possible action to approve a special use permit to allow the grading for and construction of a driveway within the Sensitive Stream Zone Buffer Area of Franktown Creek, as well as excavation of approximately 3,300 cubic yards of earthen material [Major Grading as defined at Article 438.35] in preparation for construction of a single-family dwelling.

- Applicant/Property Owner: Jacques and Beth LeFriant
1151 Hornblend Street
San Diego, CA 92109
- Location: 55 Will Sauer Road, approximately 3/10 of a mile northwest of its intersection with Franktown Road in Washoe Valley
- Assessor's Parcel Number: 172-010-06
- Parcel Size: ± 5 acres
- Master Plan Category: Rural (R)
- Regulatory Zone: General Rural (GR)
- Area Plan: South Valleys
- Citizen Advisory Board: South Truckee Meadows/Washoe Valley
- Development Code: Authorized in Article 418, Significant Hydrologic Resources, Article 438, Grading, and Article 810, Special Use Permits
- Commission District: 2 – Commissioner Lucey
- Section/Township/Range: Section 4, T16N, R19E, MDM, Washoe County, NV

Staff Report Contents

Project Description..... 1

Special Use Permit 3

Vicinity Map 4

Site Plan 5

Project Evaluation..... 6

South Truckee Meadows / Washoe Valley Citizen Advisory Board (STM/WVCAB)..... 7

Reviewing Agencies..... 8

Recommendation..... 9

Motion.....10

Appeal Process.....10

Exhibits Contents

Conditions of Approval.....Exhibit A

Agency Review LettersExhibit B

Public Notice..... Exhibit C

Project Application Exhibit D

Letter from Houston W. Crisp dated 9/10/2015Exhibit E

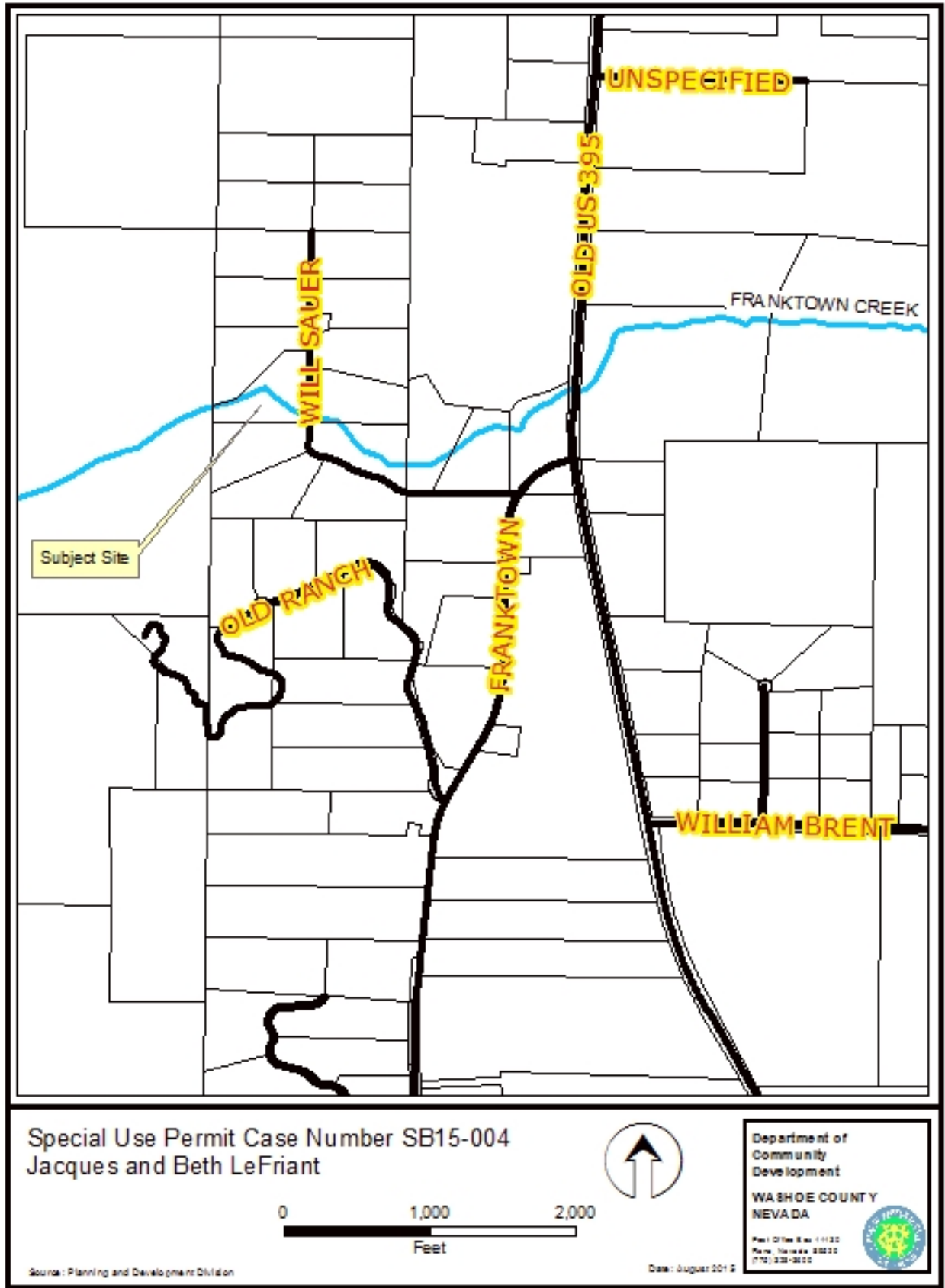
Letter from Thomas J. Hall dated 9/10/2015Exhibit F

Special Use Permit

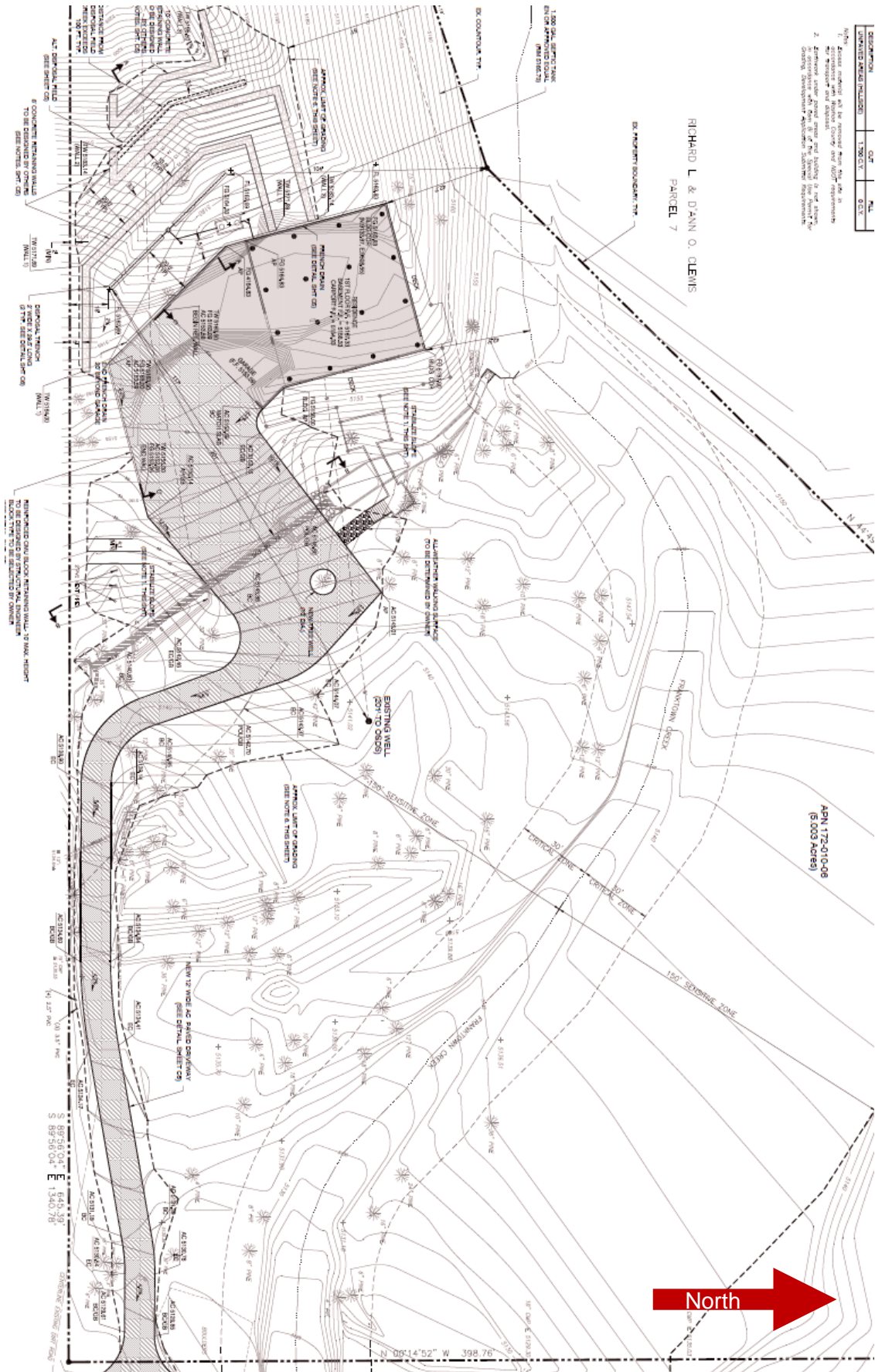
The purpose of a Special Use Permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the Special Use Permit, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., a grading permit, a building permit, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure.
- Prior to the issuance of a business license or other permits/licenses.
- Some Conditions of Approval are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the business or project.

The Conditions of Approval for Special Use Permit Case Number SB15-004 are attached to this staff report and will be included with the Action Order.



Vicinity Map



Site Plan

Project Evaluation

The applicant is seeking a special use permit for grading a driveway within a Sensitive Stream Zone Buffer Area as well as an amount of grading that requires the approval of a Special Use Permit to facilitate the construction of a single-family dwelling on the subject parcel.

The subject site shows evidence of extensive past disturbance of the natural landform. However, due to the heavy coverage by trees and bushes much of the disturbance is not readily visible. Very little of the disturbance is visible from Will Sauer Road. Will Sauer Road is a private, gated roadway and traffic is minimal. More recent work has been done in the area of the proposed driveway and excavation in the area of the dwelling has taken place. Conditions of approval have been included to return all recently disturbed areas to their former condition. Conditions have also been included to require that all slopes be stabilized by means of retaining walls or to be at least a ratio of 3 Horizontal to 1 Vertical. The following photograph shows one area that will be returned to its previous condition and stabilized.



Impacts associated with additional development of the site are primarily associated with visual impact and with potential run-off of sediment into the stream. Visual impact has been addressed by conditions of approval to require additional trees to be planted near the front of the parcel, adjacent to Will Sauer Road, and environmental impacts are proposed to be addressed by conditions of approval which will implement the special review criteria as required by Article 418 for grading within a stream zone. Those are:

Conservation of Topsoil. The top two to six inches of topsoil will be salvaged from all areas to be cleared to construct new improvements. Upon completion of the new house and related elements the topsoil will be placed over all areas disturbed during construction and vegetated with a native plant material seed mix. Any excess topsoil will be utilized behind stacked boulder walls and vegetated.

Protection of Surface Water Quality. Temporary erosion control measures shall be installed prior to the start of construction to assure no sediment reaches the creek. All measures will be in compliance with all county requirements and may include straw wattles, filter fencing, or runoff interceptors upstream of the work. Runoff intercepted upstream of the work will be rerouted in rock lined ditches to a safe point of discharge. Upon completion of all work all disturbed areas will be vegetated using a native seed mix. On slopes around the house a geotextile may be placed as a part of the vegetation treatment.

Conservation of Natural Vegetation, Wildlife Habitat, and Fisheries. No work or land disturbance of any kind will occur within the sixty-foot wide Critical Stream Zone Buffer area. The majority of riparian vegetation on the site is located within this area. This setback will assure minimal disturbance to wildlife that tend to use the riparian areas and will provide protection to fisheries. Every effort will be made to minimize disturbance to natural vegetation. The house will be constructed using 'pole and beam' construction methods. That is, vertical poles set into the ground with horizontal crossbeams attached to the poles to support the house. This methodology allows for portions of the natural ground topography under the house to remain as is with minimal disturbance.

Control of Erosion. Temporary erosion control measures will be installed prior to start of construction in accordance with all county requirements and guidelines to protect all downstream areas including the creek and irrigation ditch. Permanent erosion control measures will include placement of boulders over cut slopes to prevent erosion. Boulder placement will include some stepped slope treatments. All areas will be vegetated using a native plant material seed mix.

Control of Drainage and Sedimentation. Runoff from the proposed house location drains away from Franktown Creek except for a very small area at the northwest corner of the house. This end of the house will be elevated above the existing natural ground allowing the existing drainage pattern to remain unchanged. The remaining natural runoff above the house site currently drains easterly. Runoff interceptor channels will be installed behind the house to intercept the natural runoff and route flows around the house. These channels will be rock-lined so as to prevent erosion. All areas below the house or along the sides will be revegetated using a native plant material seed mix. These measures will assure drainage is handled properly and will prevent sediment from discharging from the site. The driveway will be paved to prevent erosion and the sides of the driveway revegetated.

Provision for restoration of the project site to predevelopment conditions. Vegetative treatments of all disturbed areas remaining after all work has been completed will be with a native plant material seed mix prepared specific to this site. The seed mix will include plant materials typical of the natural vegetation found on the site. This will include a seed mix for upland areas and a seed mix for riparian areas.

Provision of a bonding program to secure performance of requirements imposed. A Building Permit will be required to construct the house. The county will be inspecting the work as it progresses as a standard part of the permit and an issuance of a final release by the county is required prior to occupancy of the house. This process assures all improvements are completed in accordance with the county approved plans.

Preservation of the hydrologic resources, character of the area and other conditions as necessary. All of the above measures are intended to preserve the hydrologic resources within the Sensitive Stream Zone Buffer Area as well as the character of the area. The house will be constructed to blend with the surrounding natural area and will be a 'pole and beam' construction with a natural wood appearance, not painted, when completed. The intent of this construction approach is blend the house into the natural topography of the site. Photos of this type of house construction are included with the submittal for review by the county.

South Truckee Meadows / Washoe Valley Citizen Advisory Board (STM/WVCAB)

The proposed project was discussed at the regularly scheduled Citizen Advisory Board meeting on September 10, 2015. Staff attended that meeting. The CAB voted in favor of the project with all of the citizens who spoke, being in favor of the project.

Citizen Comments

Staff received two letters (attached) from concerned property owners or their representative. One expressed full support for approval of the proposed project. The other simply expressed concern that existing easements be respected during development of the parcel. Conditions of approval have addressed that concern.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- US Army Corps of Engineers
- Washoe County Community Services Department
 - Planning and Development
 - Engineering and Capitol Projects
 - Building and Safety
- Washoe County Health District
 - Vector-Borne Diseases Division
 - Environmental Health Division
 - Air Quality Management
- Truckee Meadows Fire Protection
- Washoe-Storey Conservation District
- Nevada State Historic Preservation Office
- Regional Transportation Commission

Four out of the eleven above-listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order.

- Washoe County Planning and Development addressed the special review considerations for grading near a significant hydrologic resource as well as mitigation of visual impact.
Contact: Roger Pelham, 775.328.3622, rpelham@washoecounty.us
- Washoe County District Health addressed technical considerations for review of grading for the proposed septic system.
Contact: Chris Anderson, 775.328.2434, canderson@washoecounty.us
- Washoe County Engineering and Capital Projects addressed technical requirements for the submission of grading plans.
Contact: Leo Vesely, 775.328.2040, lvesely@washoecounty.us
- Washoe-Storey Conservation District addressed possible erosion and sediment concerns within the stream zone.
Contact: Kevin Rourke, 775.857.8500, kevinjr_51@att.net

Staff Comment on Required Findings

Section 110.810.30 of Article 810, *Special Use Permits*, within the Washoe County Development Code, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan.

Staff Comment: There are no action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan that are inconsistent with the approval of the requested special use permit.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The plans submitted provide for adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities for the proposed development of a dwelling and driveway.

3. Site Suitability. That the site is physically suitable for a driveway and dwelling, and for the intensity of such a development.

Staff Comment: The plans submitted address the challenges of the site in an environmentally sensitive manner and seek to create a small impact upon the existing landform.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The conditions of approval have been crafted to mitigate any significant detriment to public health, safety and welfare.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation in the vicinity of the subject site.

6. Special Review Considerations. The special review considerations required by Section 110.148.30 of the Development Code, due to the Sensitive Stream Zone Buffer Area, have been appropriately addressed.

Staff Comment: The special review considerations have been addressed in the application and included in the proposed conditions of approval.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Special Use Permit Case

Number SB15-004 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number SB15-004 for the LeFriant Family Trust, having made all five findings in accordance with Washoe County Development Code Section 110.810.30, and one finding in accordance with Washoe County Development Code Section 110.148.30:

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan;
2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. **Site Suitability.** That the site is physically suitable for a driveway and dwelling, and for the intensity of such a development;
4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. **Effect on a Military Installation.** Issuance of the permit will not have a detrimental effect on the location, purpose or mission of a military installation.
6. **Special Review Considerations.** The special review considerations required by Section 110.148.30 of the Development Code, due to the Sensitive Stream Zone Buffer Area, have been appropriately addressed.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Development Division within 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment.

xc: Applicant/Property Owner: Jacques and Beth LeFriant
1151 Hornblend Street
San Diego, CA 92109

Representatives: Resource Concepts, Inc.
Attn: Joe Cacioppo
340 N. Minnesota Street
Carson City, NV 89703



Conditions of Approval

Special Use Permit Case Number SB15-004

The project approved under Special Use Permit Case Number SB15-004 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on October 1, 2015. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the Conditions of Approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Development Division.

Compliance with the Conditions of Approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the Conditions of Approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District.**

Any conditions set by the Health District must be appealed to the District Board of Health.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Development

1. The following conditions are requirements of the Planning and Development Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Development Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Development Division.
- c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- d. The applicant shall return all recently disturbed areas (not being utilized for the current development proposal) on the subject site to a natural state by means of native vegetation and planting of trees. This treatment shall include the area directly south of the proposed driveway and adjacent to Will Sauer Road.
- e. The all disturbed slopes on the subject site shall be a maximum of 3 Horizontal to 1 Vertical (3H:1V) or shall be stabilized by means of retaining walls.
- f. All development on the subject parcel shall recognize, protect and not interfere with any existing easements for water conveyance or other purposes.
- g. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- h. Compliance with special review considerations required by Section 110.148.30 of the Development Code shall be accomplished by implementation of the following:

- i. Conservation of Topsoil. The top two to six inches of topsoil will be salvaged from all areas to be cleared to construct new improvements. Upon completion of the new house and related elements the topsoil will be placed over all areas disturbed during construction and vegetated with a native plant material seed mix. Any excess topsoil will be utilized behind stacked boulder walls and vegetated.
- ii. Protection of Surface Water Quality. Temporary erosion control measures shall be installed prior to the start of construction to assure no sediment reaches the creek. All measures will be in compliance with all county requirements and may include straw wattles, filter fencing, or runoff interceptors upstream of the work. Runoff intercepted upstream of the work will be rerouted in rock lined ditches to a safe point of discharge. Upon completion of all work all disturbed areas will be vegetated using a native seed mix. On slopes around the house a geotextile may be placed as a part of the vegetation treatment.
- iii. Conservation of Natural Vegetation, Wildlife Habitat, and Fisheries. No work or land disturbance of any kind will occur within the sixty-foot wide Critical Stream Zone Buffer area. The majority of riparian vegetation on the site is located within this area. This setback will assure minimal disturbance to wildlife that tend to use the riparian areas and will provide protection to fisheries. Every effort will be made to minimize disturbance to natural vegetation. The house will be constructed using 'pole and beam' construction methods. That is, vertical poles set into the ground with horizontal crossbeams attached to the poles to support the house above will support the house. This methodology allows for portions of the natural ground topography under the house to remain as is with minimal disturbance.
- iv. Control of Erosion. Temporary erosion control measures will be installed prior to start of construction in accordance with all county requirements and guidelines to protect all downstream areas including the creek and irrigation ditch. Permanent erosion control measures will include placement of boulders over cut slopes to prevent erosion. Boulder placement will include some stepped slope treatments. All areas will be vegetated using a native plant material seed mix.
- v. Control of Drainage and Sedimentation. Runoff from the proposed house location drains away from Franktown Creek except for a very small area at the northwest corner of the house. This end of the house will be elevated above the existing natural ground allowing the existing drainage pattern to remain unchanged. The remaining natural runoff above the house site currently drains easterly. Runoff interceptor channels will be installed behind the house to intercept the natural runoff and route flows around the house. These channels will be rock-lined so as to prevent erosion. All areas below the house or along the sides will be vegetated using a native plant material seed mix. These measures will assure drainage is handled properly and will prevent sediment from discharging from the site. The driveway will be paved to prevent erosion and the sides of the driveway vegetated.

- vi. Provision for restoration of the project site to predevelopment conditions. Vegetative treatments of all disturbed areas remaining after all work has been completed will be with a native plant material seed mix prepared specific to this site. The seed mix will include plant materials typical of the natural vegetation found on the site. This will include a seed mix for upland areas and a seed mix for riparian areas.
 - vii. Provision of a bonding program to secure performance of requirements imposed. A Building Permit will be required to construct the house. The county will be inspecting the work as it progresses as a standard part of the permit and an issuance of a final release by the county is required prior to occupancy of the house. This process assures all improvements are completed in accordance with the county approved plans.
 - viii. Preservation of the hydrologic resources, character of the area and other conditions as necessary. All of the above measures are intended to preserve the hydrologic resources within the Sensitive Stream Zone buffer area as well as the character of the area. The house will be constructed to blend with the surrounding natural area and will be a 'pole and beam' construction with a natural wood appearance when done, not painted.
- i. The following **Operational Conditions** shall be required for the life of the project:
- 1. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - 2. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Development Division.
 - 3. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with the Planning and Development Division to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Development Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, 775.328.2040, lvesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement

or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

- b. The owner/developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The owner/applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist prior to obtaining a grading/building permit. The County Engineer shall determine compliance with this condition.
- d. If the import or export of materials is required, the applicant shall indicate on the plans where the exported material will be taken or where the imported material will be coming from, and a grading permit shall be obtained for the import/export site.
- e. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- f. The FEMA 100-year floodplain shall appear on the site plan and grading plan to the satisfaction of the County Engineer. Building permits for any structures and fill in these areas shall be in conformance with the Washoe County Code Article 416.
- g. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 60 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District.

Washoe County Health District

3. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name – Chris Anderson, 775.328.2630, canderson@washoecounty.us

- a. This Division requires that any changes to Building Permit 14-3057 resulting from this Special Use Permit SB15-004 be resubmitted for review under said building permit.
- b. This Permit Special Use Permit SB15-004 shall incorporate the future grading necessary for a repair field per the enclosed letter dated August 3, 2015.
- c. Prior to issuance of a Certificate of Occupancy, the following statement shall be required to be recorded on the title of the property:

“The approved septic repair (as shown on Health District records) to be installed in the event of any septic failure include the following: removal of the current retaining wall on hillside above the house, regarding of the slope

as shown in the approved plan set, and installation of a pump system with a dosing chamber.”

*** End of Conditions ***

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

September 8, 2015

Roger Pelham MPA, Senior Planner
Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: LeFriant Family Trust; 55 Will Sauer Rd, WCTY
Special Use Permit; SB15-004

Dear Mr. Pelham:

The Washoe County Health District, Environmental Health Services Division (Division) Engineering has reviewed the above referenced project.

This Division notes the following in reviewing this application:

1. This Division notes that the grading per SB15-004 is different than that proposed per Building Permit 14-3057.
2. This Division notes that the application for Special Use Permit SB15-004 states under Supplemental Information question 5 that "...setback requirements for the on-site sewage disposal system..." could not be met with a dwelling location closer to Will Sauer Road. This Division comments that the statement is misleading in that the dwelling could meet on-site sewage disposal system setbacks to the watercourse with the use of a pump system to a disposal field outside the 100 foot watercourse setback.
3. The approval of the Building Permit 14-3057, as submitted, is subject to a deed restriction imposed by this Division requiring regrading of the hillslope at such time that the primary sewage disposal field fails and a repair field is necessary.

Approval by this Division is subject to the following conditions:

1. The subject property is currently under review by this Division for onsite sewage disposal and domestic well setbacks for a proposed single family dwelling per Washoe County Building Permit 14-3057.
 - a. This Division requires that any changes to Building Permit 14-3057 resulting from this Special Use Permit SB15-004 be resubmitted for review under said building permit.
 - b. This Permit Special Use Permit SB15-004 shall incorporate the future grading necessary for a repair field per the enclosed letter dated August 3, 2015.



September 8, 2015
LeFriant Family Trust; 55 Will Sauer Rd, WCTY
Special Use Permit; SB15-004
Page 2

If you have any questions regarding the foregoing, please call Chris Anderson at 328-2632 or Dave Kelly at 328-2630.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Anderson", with a long horizontal flourish extending to the right.

Chris Anderson, P.E.
Registered Engineer
Land Development Program
Environmental Health Services

CA/JE:ca

Cc: File - Washoe County Health District

Enclosure (1)

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

August 3, 2015

Steve Brown Construction
4170 Latigo Dr
Reno, NV 89509

RE: Building Permit 14-3057

Dear Mr. Brown:

This letter is to clarify the position and conditions of the Health District approval for the above listed building permit submittal, located at 55 Will Sauer Road. After several discussions with Joe Caccioppo with Resource Design Concepts and a site visit, the plan is approvable. However, due to the extremely difficult nature of construction required for the repair area being designated for sewage disposal, the Health District will require an additional step to be taken prior to issuing any Certificate of Occupancy (CofO).

Specifically, before the CofO is issued by the Health District, the following statement will be required to be recorded on the title of the property:

"The approved septic repair (as shown on Health District records) to be installed in the event of any septic failure includes the following: removal of the current retaining walls on hillside above the house, regrading of the slope as shown in the approved plan set, and installation of a pump system with a dosing chamber."

Once a letter is received from the property owner signifying agreement with the above, the plan set will be approved and a hold placed on the CofO pending submittal of a recorded title with the required statement. A copy of the approved plan set, this letter, and the recorded titles will also be saved in Health District records. The purpose of this is to ensure that the current owner and any future prospective buyer will be well aware of the effort involved in constructing the approved septic repair.

Please contact me at (775) 328-2630 or dakelly@washoecounty.us to schedule an appointment or to address any questions or concerns you may have.

Sincerely,



David Kelly, Environmental Health Specialist
Environmental Health
Washoe County Health District

Cc: Jim English, EHS Supervisor
Jacues Le Friant Family Trust
Joe Cacioppo, P.E.

ENVIRONMENTAL HEALTH SERVICES
1001 East Ninth Street | P.O. Box 11130 | Reno, Nevada 89520
775-328-2434 | Fax: 775-328-6176 | washoecounty.us/health
Serving Reno, Sparks and all of Washoe County, Nevada | Washoe County is an Equal Opportunity Employer



SB15-004
EXHIBIT B



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects Division

"Dedicated to Excellence in Public Service"

1001 East 9th Street PO Box 11130 Reno, Nevada 89520 Telephone: (775) 328-2040 Fax: (775) 328-3699

INTEROFFICE MEMORANDUM

DATE: September 4, 2015

TO: Roger Pelham, Planning and Development Division

FROM: Leo R. Vesely, P.E., Engineering and Capitol Projects Division

SUBJECT: **SB15-004**
APN 172-010-06
LE FRIANT FAMILY TRUSTV PARK

I have reviewed the referenced special use permit and have the following conditions:

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The owner/developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The owner/applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist prior to obtaining a grading/building permit. The County Engineer shall determine compliance with this condition.
4. If the import or export of materials is required, the applicant shall indicate on the plans where the exported material will be taken or where the imported material will be coming from, and a grading permit shall be obtained for the import/export site.
6. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
7. The FEMA 100-year floodplain shall appear on the site plan and grading plan to the satisfaction of the County Engineer. Building permits for any structures and fill in these areas shall be in conformance with the Washoe County Code Article 416.
8. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 60 days shall be

SB15-004
EXHIBIT B

revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District.

LRV/lrv



**Washoe-Storey
Conservation
District**

**Natural Resource
Conservation Service
1365 Corporate Blvd.
Reno, NV 89502**

**Tel: (775) 857-8500
ext. 131
Fax: (775) 857-8525**

Board of Supervisors:

**Bret Tyler
Chairman**

**James Shaffer
Secretary
County Appointee**

**Kevin Roukey
Director**

**Tory Friedmen
Supervisor**

**Spencer Scott
Supervisor**

**James Muntin
Supervisor**

**OPEN
City Appointee**

**Roger Pelham, MPA, Senior Planner
Washoe County Community Services Department
Planning and Development Division
1001 E. Ninth St., Bldg. A
Reno, NV 89512**

August 24, 2015

Subject: August Agency Review – Case Nos. - Special Use Permit Case Number SB15-004 (Le Friant Family Trust); Variance Case Number VA15-009 (William Van Leuven Garage)

Roger,

Thank you for providing us the August Agency Review and the opportunity to review and provide comments. We have reviewed the subject proposed projects as requested and we have the following comments:

Special Use Permit Case Number SB15-004 (Le Friant Family Trust)

The proposed project is to allow the construction of a new residence and driveway, along with associated grading and improvements on a 5.003 acre parcel. The driveway will pass through a Significant Hydrologic Resource (SHR) sensitive stream zone and grading anticipated to exceed 1,000 cubic yards. The project is located at 55 Will Sauer Road, Washoe Valley, Nevada. We have the following comments on this proposed project.

1. Regarding Supplemental Information items 2, 4 and 6, - the cubic yards involved in excavation, importing or exporting and grading done previously seem to not be in sync. In item 6 the applicant refers to the August 2013 approved Special Use Permit that authorized earthwork quantities of 3,500 cubic yards, while item 2 references 3,300 cubic yards and item 4 indicates that 230 cubic yards of base material will be imported and approximately 400 cubic yards will remain on-site for us as construction related fill and the remainder being hauled off-site. The applicant needs to clarify if the remainder total being hauled off will be either 3100 or 2900 cubic yards, and specify where they are to be disposed.

2. Supplemental Information item 15 – The applicant states will be determined by a revegetation expert during design. We recommend that the County require the applicant to coordinate the selection of the Plant Seed Mix with the Washoe/Storey Conservation District and Natural Resources Conservation Service prior to the approval of any revegetation plan.

3. Supplemental Information item 16 – We recommend that the County require temporary irrigation until the seeding germinates and can minimize erosion in the event of heavy runoff events that could wash away seeding. Also we recommend the County require a success criteria be met before final sign off of approval.

4. Supplemental Information item 17 – We recommend that the County require the applicant provide the Washoe/Storey Conservation District with copies of the Revegetation Plan as soon as it is available.

5. The applicant has provided a copy of the eight special consideration to be addressed with any new development that will be constructed within the Sensitive Stream Zone Buffer Area. We recommend the County require the applicant to contact the County or Washoe/Storey Conservation District staff to inspect and approve all temporary erosion control measures and other Best Management Practices (BMPs) required by County or state agencies or at a minimum require the applicant to photograph al erosion control BMPs and submit them for approval prior to any construction being initiated.

Variance Case Number VA15-009 (William Van Leuven Garage)

The proposed project is to approve a variance to the side yard building setback distance for a new planned garage addition on the southwest side of the existing garage on a 9.4424 acre parcel. The project is located at 25 Aguilar Court, Sparks, NV. We have the following comments on this proposed project.

1. The proposed project in itself has no impact to the environmental concerns of the Washoe/Storey Conservation District, but we are concerned that any erosional patterns that resulted from the last flooding event may be a source of sediment load in future events. Because these flows add to the potential downstream impacts from increased sediment load, we recommend that as part of the variance approval, the County require the applicant to regrade the areas on their property to remove any flood related channels and establish channels that will handle any estimated flood flows.
2. We also recommend that the County suggest the applicant to contact the Washoe/Storey Conservation District for assistance with developing erosion control methods.

These are our comments and recommendations for the subject projects. We appreciate the opportunity to provide comments and recommendations on projects that may have impacts on our natural resources. Should you have any further questions please contact Kevin J. Roukey by phone at 775-232-1571 or email kevinjr_51@att.net.

Sincerely,

Kevin J. Roukey, District Coordinator
Washoe/Storey Conservation District

Pelham, Roger

From: Simpson, Tim
Sent: Tuesday, September 01, 2015 1:55 PM
To: Pelham, Roger
Cc: Cella, John
Subject: Special Use Permit Case Number SB15-004 (LeFriant Family Trust)

Roger,

Engineering Capital Projects Utility Division has no comment for the following case:
Special Use Permit Case Number SB15-004 (LeFriant Family Trust)

Thanks,

Timothy Simpson, P.E.

ENVIRONMENTAL ENGINEER II

Washoe County CSD, Engineering and Capital Projects

E: tsimpson@washoecounty.us | O: (775) 954-4648 | F: (775) 954-4610

1001 E. Ninth Street Bld A, Reno, NV 89512

P.O. BOX 11130, Reno, NV 89520-0027



Connect with us: [cMail](mailto:tsimpson@washoecounty.us) | [Twitter](#) | [Facebook](#) | www.washoecounty.us

Pelham, Roger

From: Corbridge, Kimble
Sent: Tuesday, September 01, 2015 2:11 PM
To: Pelham, Roger
Cc: Vesely, Leo
Subject: Special Use Permit Case Number SB15-004 (LeFriant Family Trust)

Roger,
I have reviewed the referenced SUP and have no comments from a Roads standpoint.
Leo will have other comments.
Thx,
Kimble



REGIONAL TRANSPORTATION COMMISSION

Public Transportation • Streets and Highways • Planning

August 25, 2015

FR: Chrono/PL 183-15

Mr. Bill Whitney, Division Director
Community Services Department
Washoe County
P.O. Box 11130
Reno, NV 89520

RE: AB15-004 (Botick/Bowering)
AB15-005 (MK III Holdings, LLC)
SB15-004 (LeFriant Family Trust)
SB15-005 (Verizon Arrowcreek)
SB15-006 (Booth Accessory Dwelling)
SB15-007 (Tahoe's Connection for Families)
VA15-006 (Yarhi Estate)
VA15-007 (Miller)
VA15-008 (Myers)
VA15-009 (William VanLeuven Garage)

Dear Bill,

We have reviewed the above applications and have **no comments** at this time.

Thank you for the opportunity to comment on these applications. Please feel free to contact me at 335-1918 if you have any questions or comments.

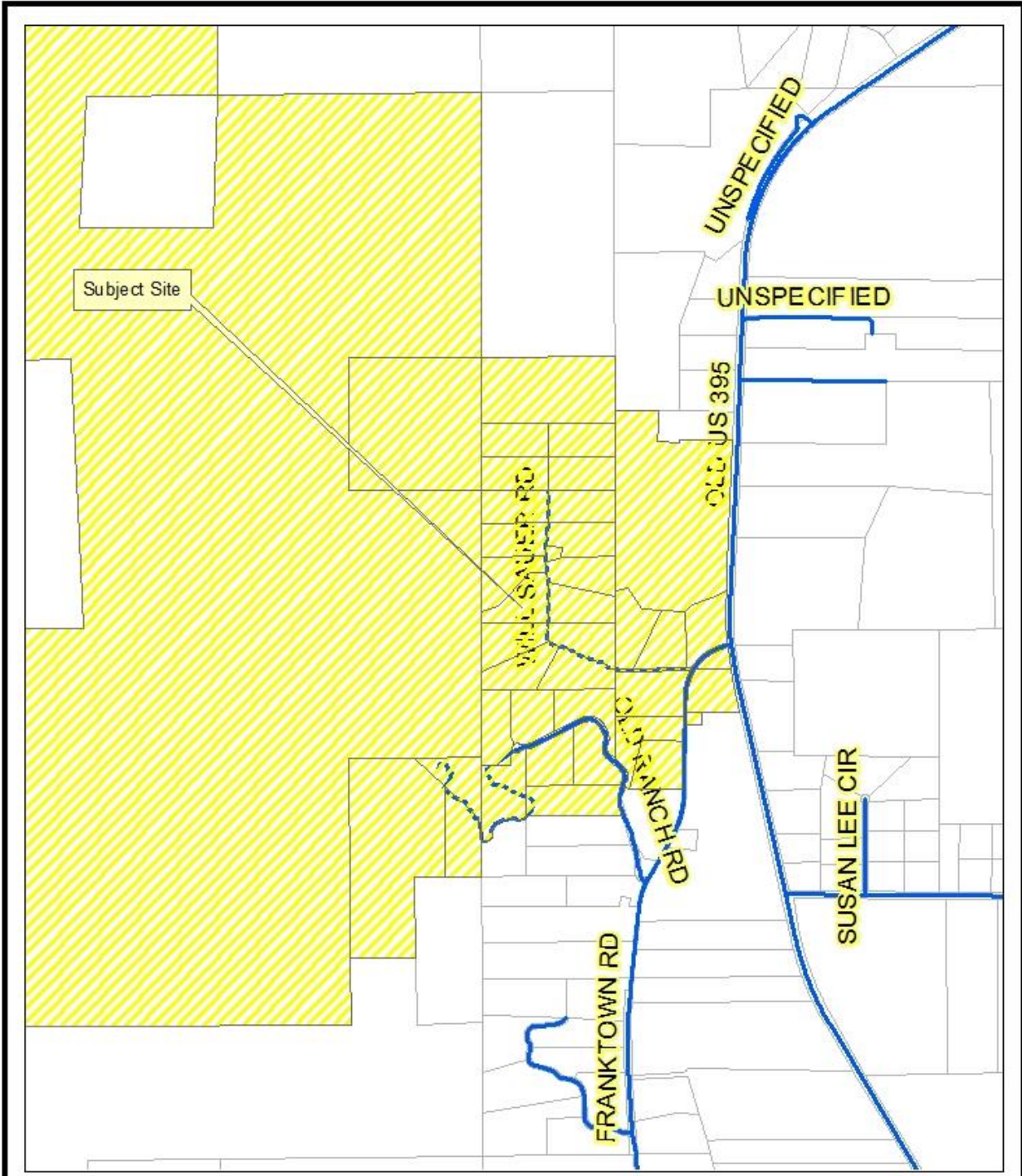
Sincerely,

Debra Goodwin
Planning Administrator

DG/jm

Copies: Kelly Mullin, Washoe County Community Services Department
Trevor Lloyd, Washoe County Community Services Department
Grace Sannazzaro, Washoe County Community Services Department
Roger Pelham, Washoe County Community Services Department
Eva M. Krause, Washoe County Community Services Department
Eric Young, Washoe County Community Services Department
Chad Giesinger, Washoe County Community Services Department
Marchon Miller, Regional Transportation Commission
Tina Wu, Regional Transportation Commission
David Jickling, Regional Transportation Commission
Julie Masterpool, Regional Transportation Commission

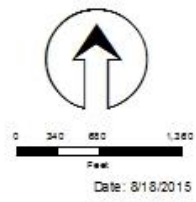
Washoe County no comment 090315



Mailing Map
 Special Use Permit Case No. SB15-004
 LeFriant Family Trust
 41 parcels selected at 1700 feet

Source: Planning and Development Division

YPath to map



Date: 8/18/2015

Community Services
 Department

Post Office Box 11120
 Reno, Nevada 89520 (775) 325-2600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Le Friant Proposed Residence			
Project Description: Construction of a new residence and driveway, along with associated grading and improvements. The driveway will pass through a Significant Hydrologic Resource (SHR) sensitive stream zone and grading is anticipated to exceed 1,000 cubic yards.			
Project Address: 55 Will Sauer Road, Washoe Valley, Nevada			
Project Area (acres or square feet): 5.003 Acres			
Project Location (with point of reference to major cross streets AND area locator): The address is: 55 Will Sauer Road, Washoe Valley. The closest cross street is Franktown Road.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
172-010-06	5.003		
Section(s)/Township/Range: SE 14, SE 1/4, Sec. 4, T16N, R19E			
Indicate any previous Washoe County approvals associated with this application: Case No.(s) Special Use Permit Case No. SB13-017			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Jacques & Beth Le Friant		Name: Resource Concepts, Inc.	
Address: 1151 Hornblend Street		Address: 340 N. Minnesota Street	
San Diego, California	Zip: 92109	Carson City, Nevada	Zip: 89703
Phone: (858) 270-7999	Fax: None	Phone: 775-883-1600	Fax: 775-883-1656
Email: beth.lefriant@yahoo.com		Email: joe@rci-nv.com	
Cell: (858) 270-7999	Other: None	Cell: 775-721-1920	Other: None
Contact Person: Jacques & Beth Le Friant		Contact Person: Joe Cacioppo, P.E.	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Jacques & Beth Le Friant		Name:	
Address: 1151 Hornblend Street		Address:	
San Diego, California	Zip: 92109		Zip:
Phone: (858) 270-7999	Fax: None	Phone:	Fax:
Email: beth.lefriant@yahoo.com		Email:	
Cell: (858) 270-7999	Other: None	Cell:	Other:
Contact Person: Jacques & Beth Le Friant		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Jacques & Beth Le Friant

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, MARY ELIZABETH LE FRIANT

(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 172-010-06

Printed Name MARY ELIZABETH LE FRIANT

Signed 

Address 1151 HORNBLEND ST, SAN DIEGO, CA 92109

Subscribed and sworn to before me this
_____ day of _____, _____.

(Notary Stamp)

see attached California Jurat
Notary Public in and for said county and state

My commission expires: _____

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

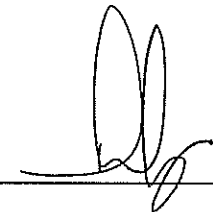
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

Subscribed and sworn to (or affirmed) before me on this 10
day of August, 20 15, by Mary Elizabeth
Le Friant

proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.

(Seal)

Signature 



Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

The grading is needed to construct the driveway, the residence and the associated utilities (water, on-site sewage disposal system, power, etc.). Given that the residence is proposed to be positioned into the hillside, re-contouring of a portion of the hillside is a part of the work.

2. How many cubic yards of material are you proposing to excavate on site?

3,300 cubic yards. Refer to our response to Question 5 for justification related to the choice of building sites.

3. How many square feet of surface of the property are you disturbing?

33,270 square feet.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Approximately 230 cubic yards of base material will be imported (for driveway and garage). Approximately 400 cubic yards will remain on-site for use as construction related fill, with the remainder being hauled off-site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. The proposed location, as well as other on-site locations considered, will exceed the 1,000 cubic yard threshold. This is based on the existing sloped and wooded terrain.

We looked at relocating the residence closer to Will Sauer Road, but given the existing ground slopes, grading would exceed the threshold. More importantly, setback requirements for the on-site sewage disposal system (100' from any watercourse) prohibits construction adjacent to Will Sauer Road. This is based on the existing FEMA 100-year boundary, the existing drainage way running through this portion of the property, as well as the building setback requirements off Will Sauer Road. Mr. Jack Healy who oversees the diversion of Franktown Creek for water right holders warned that extensive flooding occurs between the Creek and Will Sauer Road. As such, the current proposed location is the only available area for the proposed residence.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances and the year the work was done.)

Some earthwork has occurred on the parcel. The existing soil driveway was created for irrigation and farming use. This occurred prior to the current ownership. The current owners intend to use the existing driveway alignment to minimize further disturbance.

Based on the August 2013 County approved Special Use Permit, for construction of the driveway through the SHR area (which also on the application provided earthwork quantities totaling 3,500 cubic yards associated with driveway, construction of the residence and rear hillside grading), the owners received approval to extend power to serve the residence at its requested location. Trenching and associated grading were conducted as a part of that work.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes.

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

Yes, to a very small degree. The major portion of grading is proposed to occur behind the residence, which is setback approximately 400 feet from Will Sauer Road to the east. Given the heavily wooded and sloped terrain, visibility from Will Sauer Road is very restricted and in keeping with the character of the neighborhood. Similar visibility restrictions, although less of a distance, occur from the north and south parcels.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Yes, if an agreement were in place. Currently, the adjacent parcel is owned by the applicant. The current application is however for on-site use only.

10. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Proposed cut and fill slopes will not be steeper than three horizontal to one vertical (3:1). Retaining walls that do not exceed 10 feet in height will be constructed to minimize grading. Fiber rolls, erosion control blankets and wood fiber hydromulch/tackifiers will also be incorporated to help prevent erosion.

11. Are you planning any berms?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how tall is the berm at its highest?
------------------------------	--	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls not to exceed 10 feet in height are proposed and are necessary to meet the County requirements related to maximum slopes. The walls will be concrete and masonry, and designed by others so as to blend into the surroundings to the extent reasonably possible.

13. What are you proposing for visual mitigation of the work?

We are proposing an approximately 350 foot setback off Will Sauer Road. The site is heavily treed and has varied terrain, which provides natural mitigation. Additional mitigation will consist of materials for the residence that blend in color with the natural surroundings.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

Yes. Trees proposed for removal include:

Three - 12" to 24" Diameter Pines

Eight - 6" to 12" Diameter Pines

While construction closer to Will Sauer Road is not feasible as discussed within our response to Question 5, the trees in that area are more mature (28" diameter and larger) and an equal amount of trees would need to be removed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Native Plants Seedmix.
Pounds per ace will be determined by a revegetation expert during design. Seed will be broadcast seeded and a wood fiber hydromulch will be used.

16. How are you providing temporary irrigation to the disturbed area?

No temporary irrigation is proposed. All seedings will be completed in the fall for a spring germination. Should temporary irrigation be required, the new residence will have outdoor water spigots than can be used.

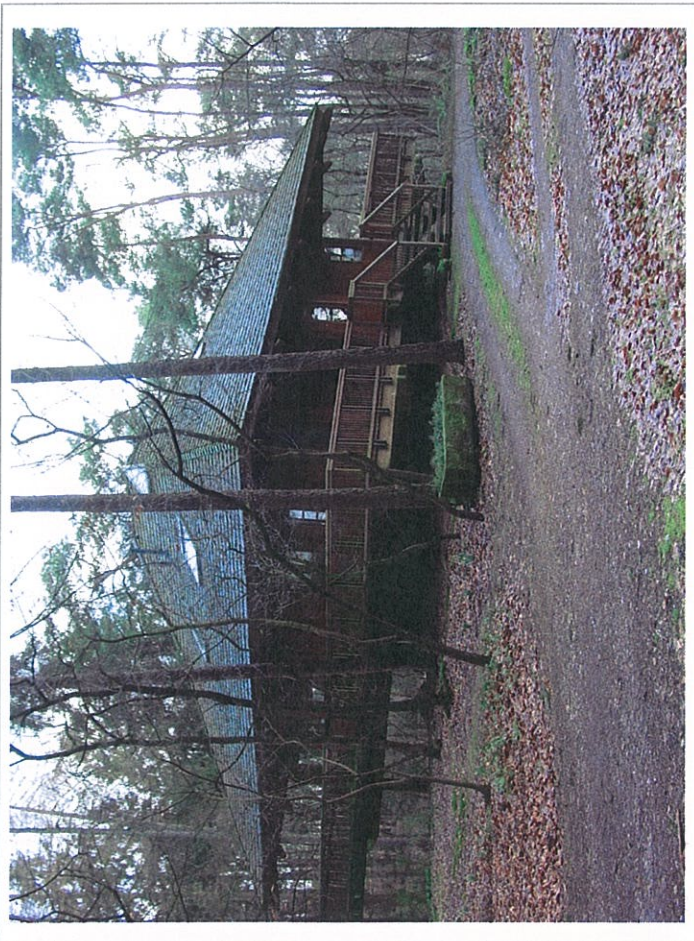
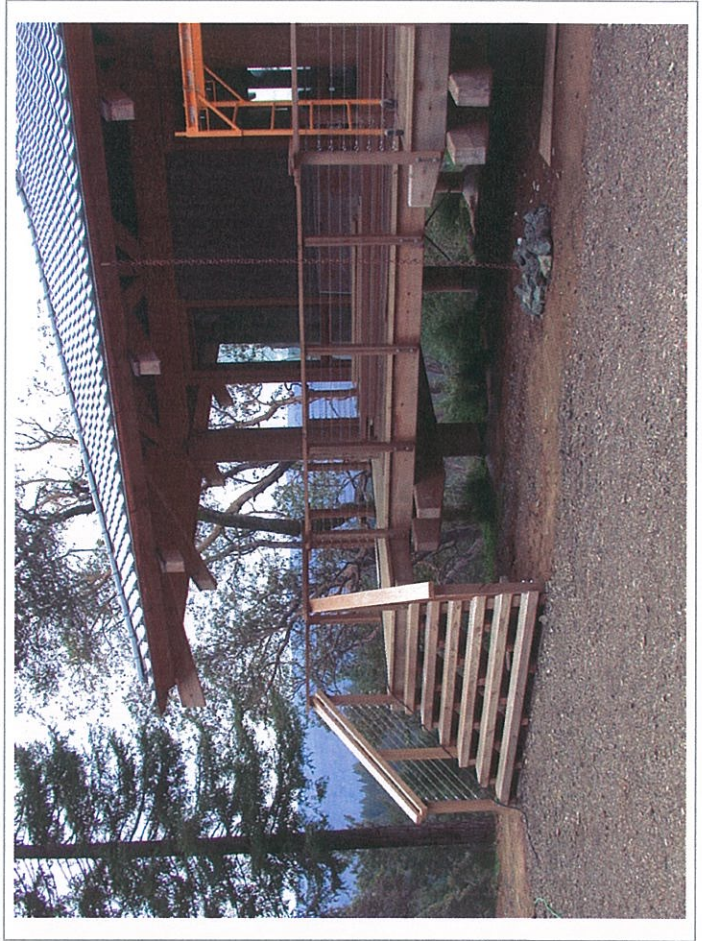
17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

Not at this time. Once the Special Use Permit is approved, the Washoe Storey Conservation District will be contacted.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

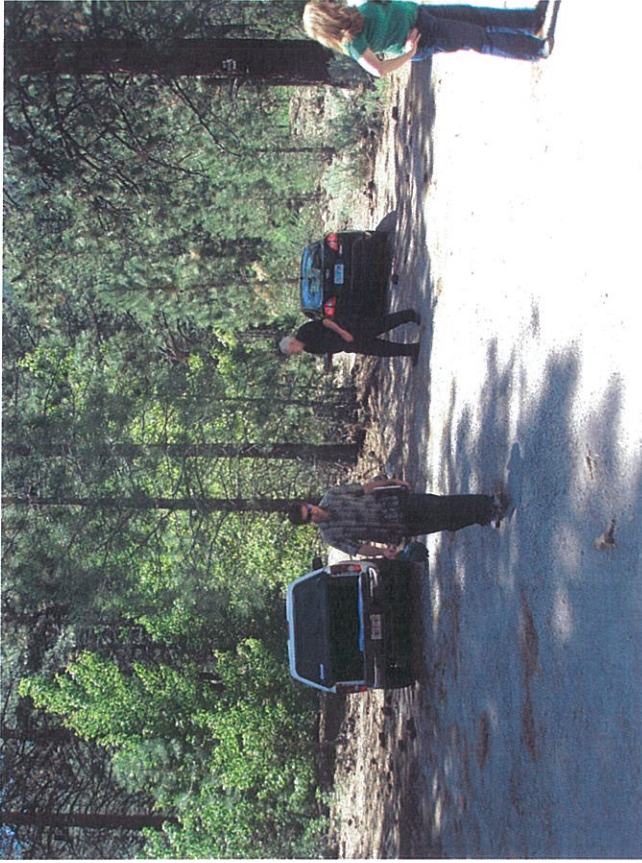
Yes No If yes, please attach a copy.

Typical 'Pole & Beam' Type House

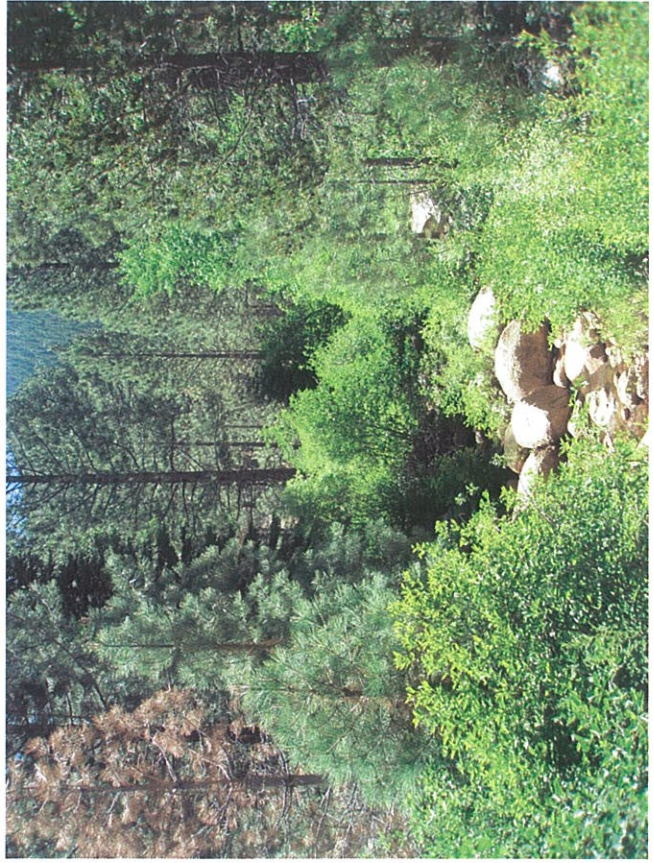




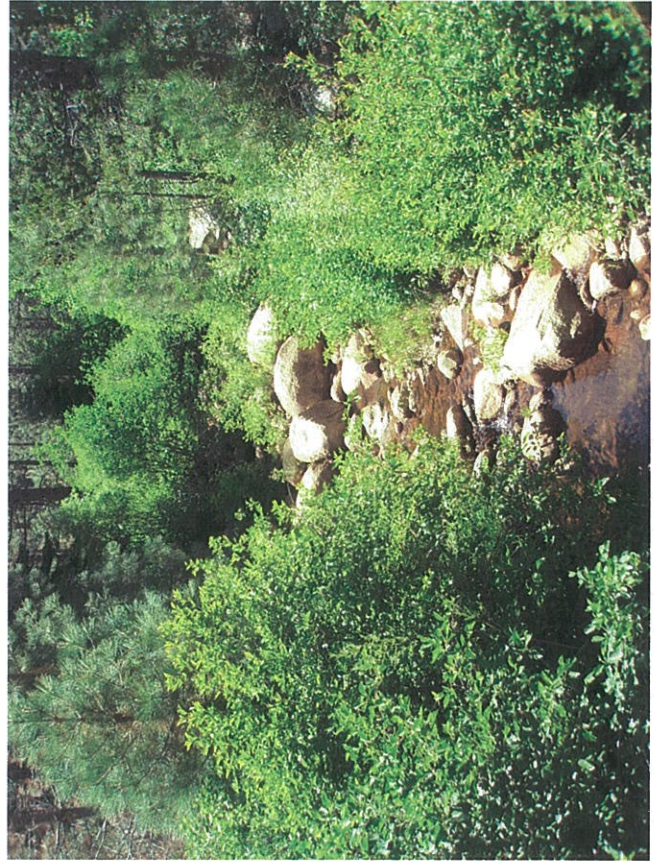
Will Sauer Rd. & bridge over creek (View looking north by driveway).



View of driveway location at Will Sauer Rd.

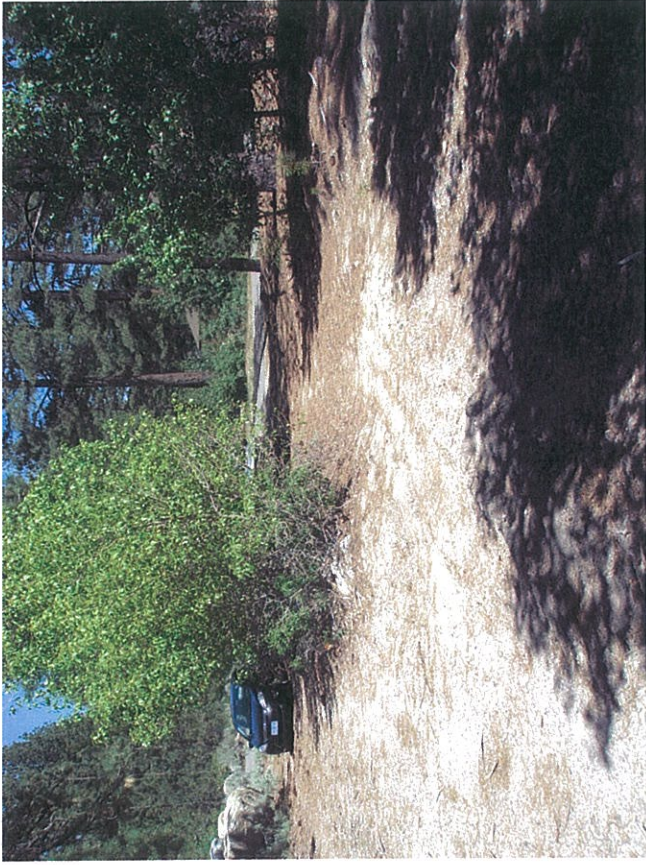


View of creek from Will Sauer Rd.



View of creek from Will Sauer Rd.

Proposed Driveway Entrance and Franktown Creek



View of driveway entrance (Will Sauer Rd. in background).



View of dirt road to access irrigation ditch (right side of photo) & proposed driveway location.



View of dirt road along south property line (proposed driveway location).



View of dirt road along south property line.

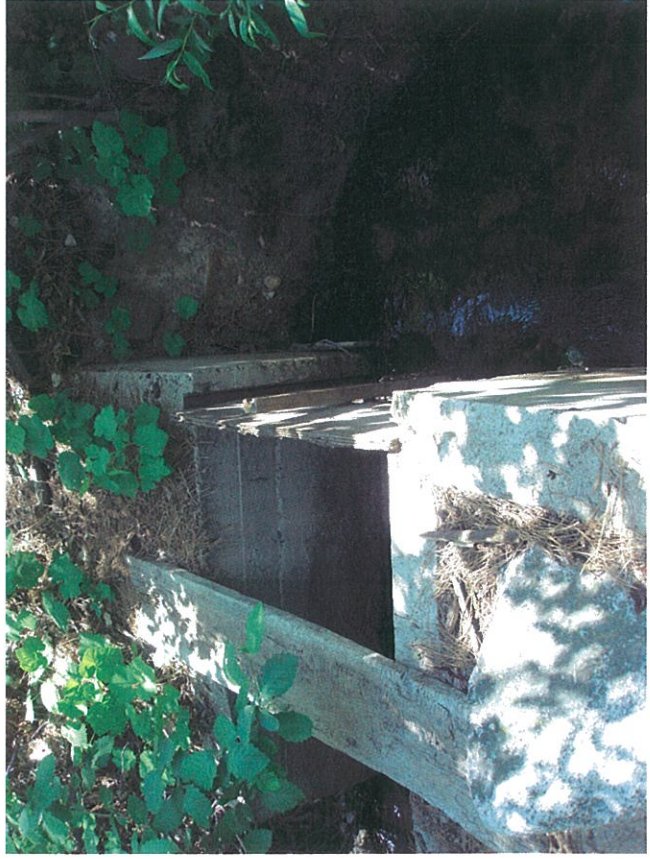
Proposed Driveway



View of irrigation ditch looking north.



View of irrigation ditch looking south.



View of irrigation diversion structure.

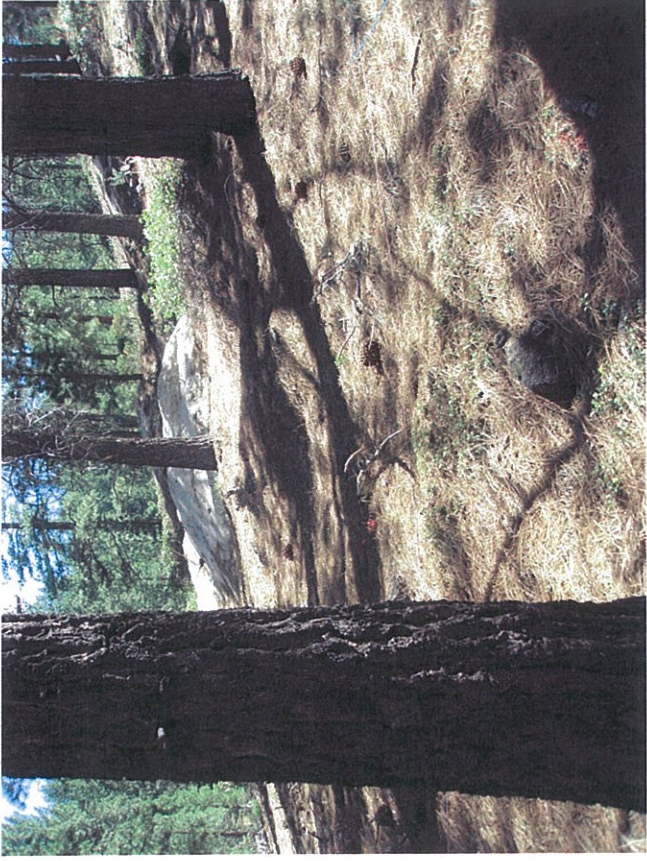


View of irrigation diversion structure.

Franktown Irrigation Company's Ditch



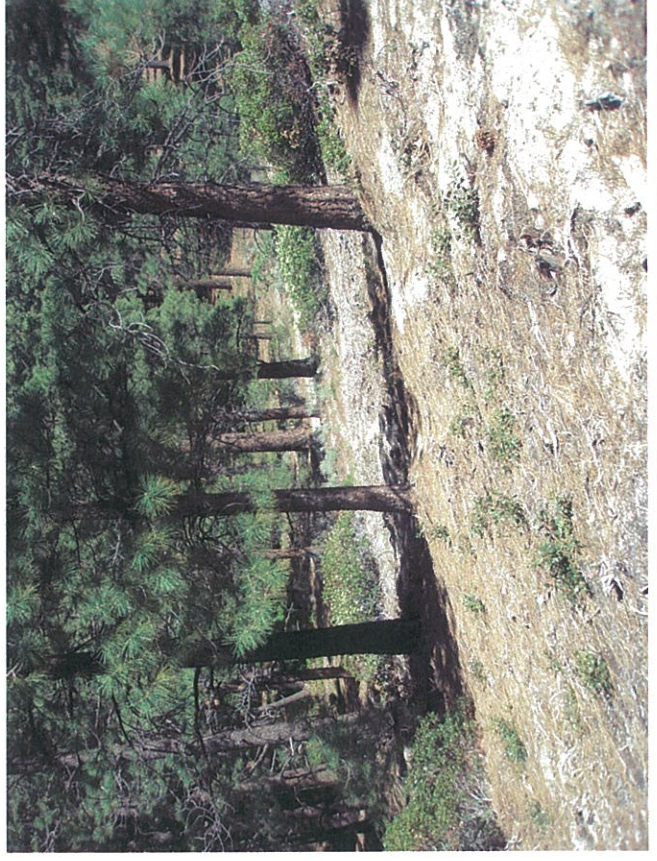
View of proposed house site (looking south).



View of proposed house site (looking southwest)



View of proposed house site (looking southeast).



View of of proposed house (looking southeast)

Proposed House Site

**LE FRIANT RESIDENCE WEST WASHOE VALLEY
PROPOSED MEASURES TO ADDRESS
SPECIAL REVIEW CONSIDERATIONS
AS LISTED IN SECTION 110.418.30
OF THE WASHOE COUNTY DEVELOPMENT CODE**

There are eight special considerations to be addressed with any new development that will be constructed within the Sensitive Stream Zone Buffer Area. Portions of the proposed new house, driveway, and other related improvements will be constructed within the Sensitive Stream Zone Buffer Area. The following lists the eight special considerations and following the special consideration are the proposed measures to address each consideration, if it is applicable.

- (a) **Conservation of Topsoil.** *The top two to six inches of topsoil will be salvaged from all areas to be cleared to construct new improvements. Upon completion of the new house and related elements the topsoil will be placed over all areas disturbed during construction and vegetated with a native plant material seed mix. Any excess topsoil will be utilized behind stacked boulder walls and vegetated.*
- (b) **Protection of Surface Water Quality.** *Temporary erosion control measures shall be installed prior to the start of construction to assure no sediment reaches the creek. All measures will be in compliance with all county requirements and may include straw wattles, filter fencing, or runoff interceptors upstream of the work. Runoff intercepted upstream of the work will be rerouted in rock lined ditches to a safe point of discharge. Upon completion of all work all disturbed areas will be vegetated using a native seed mix. On slopes around the house a geotextile may be placed as a part of the vegetation treatment.*
- (c) **Conservation of Natural Vegetation, Wildlife Habitat, and Fisheries.** *No work or land disturbance of any kind will occur within the sixty-foot wide Critical Stream Zone Buffer area. The majority of riparian vegetation on the site is located within this area. This setback will assure minimal disturbance to wildlife that tend to use the riparian areas and will provide protection to fisheries. Every effort will be made to minimize disturbance to natural vegetation. The house will be constructed using 'pole and beam' construction methods. That is, vertical poles set into the ground with horizontal crossbeams attached to the poles to support the house above will support the house. This methodology allows for portions of the natural ground topography under the house to remain as is with minimal disturbance.*
- (d) **Control of Erosion.** *Temporary erosion control measures will be installed prior to start of construction in accordance with all county requirements and guidelines to protect all downstream areas including the creek and irrigation ditch. Permanent erosion control measures will*

include placement of boulders over cut slopes to prevent erosion. Boulder placement will include some stepped slope treatments. All areas will be vegetated using a native plant material seed mix.

- (e) **Control of Drainage and Sedimentation.** *Runoff from the proposed house location drains away from Franktown Creek except for a very small area at the northwest corner of the house. This end of the house will be elevated above the existing natural ground allowing the existing drainage pattern to remain unchanged. The remaining natural runoff above the house site currently drains easterly. Runoff interceptor channels will be installed behind the house to intercept the natural runoff and route flows around the house. These channels will be rock-lined so as to prevent erosion. All areas below the house or along the sides will be vegetated using a native plant material seed mix. These measures will assure drainage is handled properly and will prevent sediment from discharging from the site. The driveway will be paved to prevent erosion and the sides of the driveway vegetated.*
- (f) **Provision for restoration of the project site to predevelopment conditions.** *Vegetative treatments of all disturbed areas remaining after all work has been completed will be with a native plant material seed mix prepared specific to this site. The seed mix will include plant materials typical of the natural vegetation found on the site. This will include a seed mix for upland areas and a seed mix for riparian areas.*
- (g) **Provision of a bonding program to secure performance of requirements imposed.** *A Building Permit will be required to construct the house. The county will be inspecting the work as it progresses as a standard part of the permit and an issuance of a final release by the county is required prior to occupancy of the house. This process assures all improvements are completed in accordance with the county approved plans.*
- (h) **Preservation of the hydrologic resources, character of the area and other conditions as necessary.** *All of the above measures are intended to preserve the hydrologic resources within the Sensitive Stream Zone buffer area as well as the character of the area. The house will be constructed to blend with the surrounding natural area and will be a 'pole and beam' construction with a natural wood appearance when done, not painted. The intent of this construction approach is blend the house into the natural topography of the site. Photos of this type of house construction are included with the submittal for review by the county.*

SPECIAL USE PERMIT FOR GRADING

for

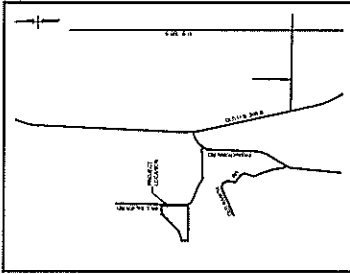
JACQUE & BETH LE FRIANT RESIDENCE

55 Will Sauer Road
Washoe Valley, Nevada 89704
APN 172-010-06

ABBREVIATIONS:

(SOME ABBREVIATIONS LISTED BELOW MAY NOT BE INCLUDED IN THIS PLAN SET)

- AC ASPHALTIC CONCRETE
- ADPHD APPROVED
- AP APPROXIMATE
- AS ANGLED PROFILE CURVE
- BS BACKSLOPE PREVENTOR
- BOG BOLLARD
- BSO BRUSHWOOD STOP
- BOW BACK OF SPURWALK
- CAO CENTERLINE CUTTER
- C CENTERLINE
- COMP COMPOSITION
- CUI CUI TO
- DIA DIAMETER
- DWA DRAINAGE WIDTH ASSESSOR GRANITE
- END END OF CURVE
- CL CENTERLINE
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FOC FINISHED GRADE
- FPC FIRE DEPARTMENT CONNECTION
- F.P.C. FINISHED GRADE
- F.N FIRE HYDRANT
- G GAS LINE
- ISB IN-SITU
- ISB IN-SITU POLYMERBASE
- HP HIGH POINT
- HRR HORIZONTAL
- IR INVERT
- MIN MINIMUM
- MVA MAXIMUM
- MVA MAXIMUM DRY DENSITY
- NECESSARY
- NGL NECESSARY
- NGS NECESSARY
- PCE PORTLAND CEMENT CONCRETE
- PFT PORTLAND FINE AGGREGATE CONCRETE
- POD POINT ON DOWNS
- PPC POINT OF PAVEMENT
- PVC POINT OF VERGEMENT
- PRC POLYURETHANE
- R/F REMOVED PRESSURE BACKFLOW ASSEMBLY
- SCUM STORM DOWN MANHOLE
- S/S SHED
- SMT SHEET METAL
- SEAM SANITARY SEWER MANHOLE
- SEAM SANITARY SEWER
- TD TOP OF DRIVE
- TD TOP OF DRIVE
- TS TOP OF SLOPE
- W/ WATER
- W/ WITH
- W/P WALKWAY
- W/P WALKWAY
- FEET
- INCHES
- PERCENT
- °
- X



VICINITY MAP
NOT TO SCALE

SHEET INDEX:

- SHEET C1 - TITLE SHEET
- SHEET C2 - NOTES & SPECIFICATIONS
- SHEET C3 - EXISTING SITE & EROSION CONTROL PLAN
- SHEET C4 - GRADING & DRAINAGE PLAN
- SHEET C5 - DETAILS

OWNER:

JACQUE & BETH LEFRIANT
CONTACT: BETH LEFRIANT
55 WILL SAUER ROAD
WASHOE COUNTY, NEVADA 89704

APPLICANT/CONTRACTOR:

STEVE BROWN CONSTRUCTION
CONTACT: STEVE BROWN
4140 LAND DRIVE
RENO, NEVADA 89519
(775) 544-9113

ENGINEER:

RESOURCE CONCEPTS, INC.
CONTACT: JOE CADOPPO, P.E.
340 NORTH MINNESOTA STREET
CARSON CITY, NEVADA 89703
(775) 885-1000

BASIS OF BEARING:

THE BASIS OF BEARING IS THE SURVEY OF THE S.W. 1/4 OF SECTION 1, T18N,
R15E, W4E, AS SHOWN ON THE RECORD OF SURVEY FOR CUMULATIVE LOCKMOUNT
NO. 2357814 OF THE WASHOE COUNTY RECORDERS OFFICE (S 8955307E, 13407E).

BASIS OF ELEVATION:

THE BASIS OF ELEVATION IS USGS BENCH MARK L253, ELEVATION 5266.65'

Engineering • Surveying • Water Rights
Resources & Environmental Services
Zephyr Cove
WVWHD-1640000
Carson City
217 E. 1st Street, Ste. 443
2440 Nevada St.
Carson City, NV 89703-1122
775-882-1000
775-882-7000



REVISION	DATE

TITLE SHEET
SPECIAL USE PERMIT FOR GRADING
JACQUES & BETH LE FRIANT RESIDENCE
55 WILL SAUER ROAD, WASHOE COUNTY, NEVADA
APN 172-010-06



JOB NO.	17-10-06
DATE:	AUG. 12, 2017
DESIGNED:	JCC
DRAWN:	SLB
CHECKED:	JCC

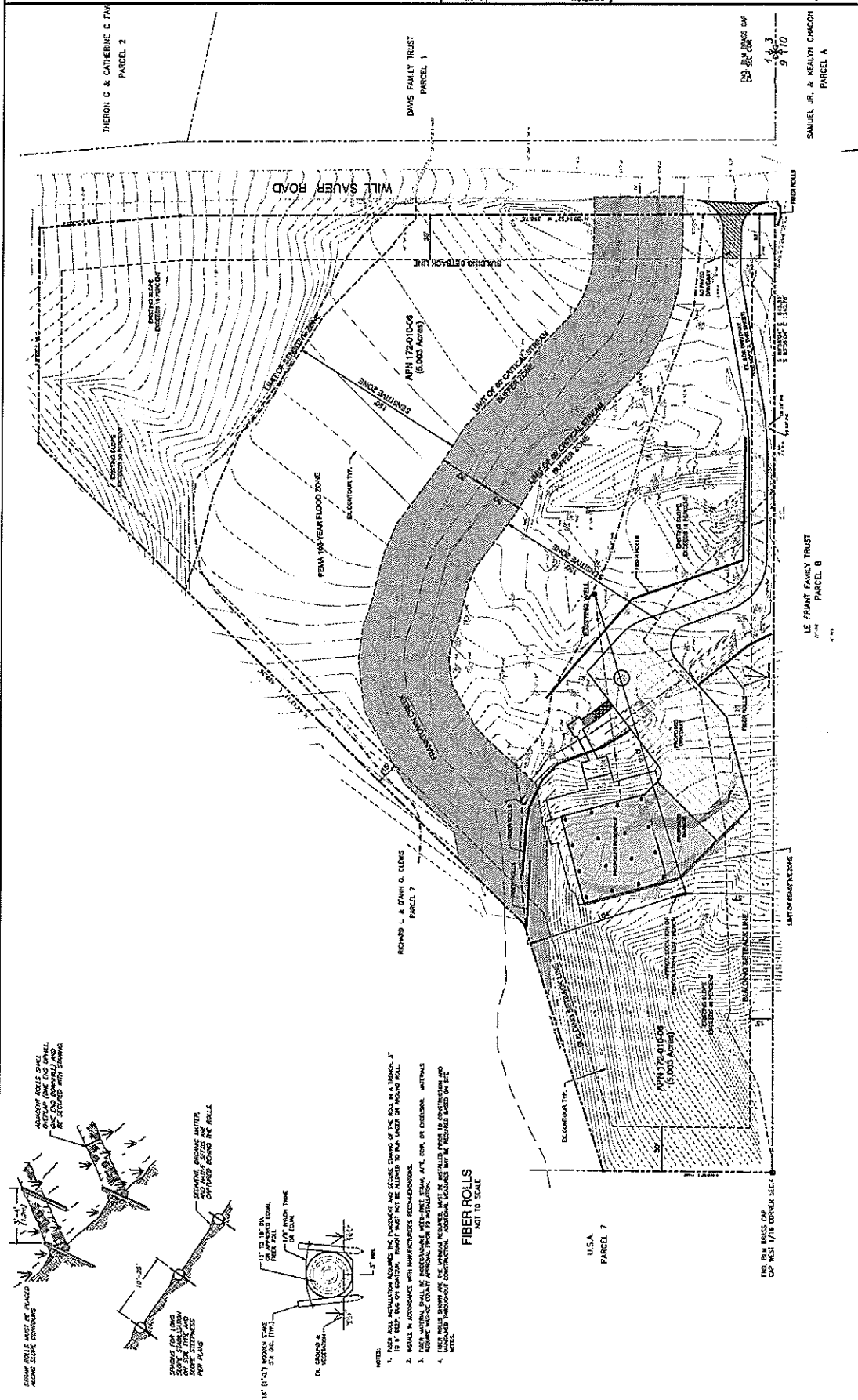
SHEET C1 OF 5

Call before you dig. 1-800-227-4800. Avoid cutting underground utility lines. No cover.

REVISION	DATE

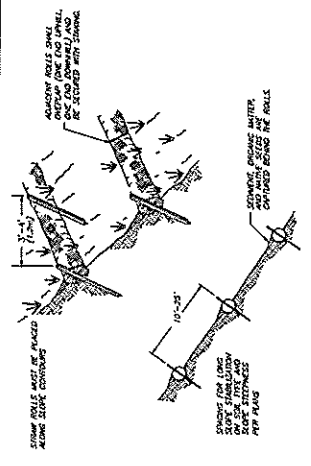
EXISTING SITE & EROSION CONTROL PLAN
 SPECIAL USE PERMIT FOR GRADING
 LAURENCE S. BENTLEY TRACT
 55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
 APN 172-010-00

REGISTERED PROFESSIONAL ENGINEER
 JOSEPH L. CHODURA
 CIVIL ENGINEER
 License No. 15011
 State of Nevada
 EXPIRES: 01/31/2018
 DRAWN BY: KRAM
 CHECKED BY: JSC
 SHEET CS OF 5



CALL BEFORE YOU DIG
 1-800-227-5888
 24 HOURS A DAY

SCALE: 1"=30'



- FIBER ROLLS**
 NOT TO SCALE
1. FIBER ROLLS SHALL BE PLACED ALONG EROSION CONTROL MEASURES AT THE FOLLOWING SPACING: 3' TO 6' ON GRADES WITH A SLOPE OF 1:1 TO 1:2; 6' TO 12' ON GRADES WITH A SLOPE OF 1:1 TO 1:2; 12' TO 18' ON GRADES WITH A SLOPE OF 1:1 TO 1:2.
 2. FIBER ROLLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: FIBER ROLLS SHALL BE MADE OF POLYPROPYLENE FIBER AND SHALL BE 18" HIGH AND 12" WIDE.
 3. FIBER ROLLS SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: FIBER ROLLS SHALL BE PLACED AT THE TOE OF THE SLOPE AND SHALL BE STAKED AT 10' INTERVALS.
 4. FIBER ROLLS SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: FIBER ROLLS SHALL BE PLACED AT THE TOE OF THE SLOPE AND SHALL BE STAKED AT 10' INTERVALS.

1. THESE MEASURES ARE PROPOSED TO PREVENT EROSION AND TO PROTECT THE FLOOD PLAIN AS PART OF THIS PROJECT (18" TO 24" DIA. AND 12" TO 18" DIA).
2. MATERIAL SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS.
3. THE CONSTRUCTION OF THESE MEASURES SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. THE CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. THE DISTANCE BETWEEN THESE MEASURES SHALL BE AS SHOWN AND SHALL BE PLACED ON SURFACE BY HAND.
5. THESE ARE NO OTHER STRUCTURES WITHIN 10 FEET OF THE SUBJECT PARCEL.
6. NO CONSTRUCTION IS PROPOSED WITHIN THE CRITICAL STREAM ZONE OR THE 100-YEAR FLOOD ZONE.
7. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE DEMOLISHED ON THE COMPLETION OF THE PROJECT.

CALL BEFORE YOU DIG.
 1-800-222-5800
 www.callbeforeyoudig.com

APR 17, 2013
 AUGUST 17, 2013
 AUGUST 17, 2013

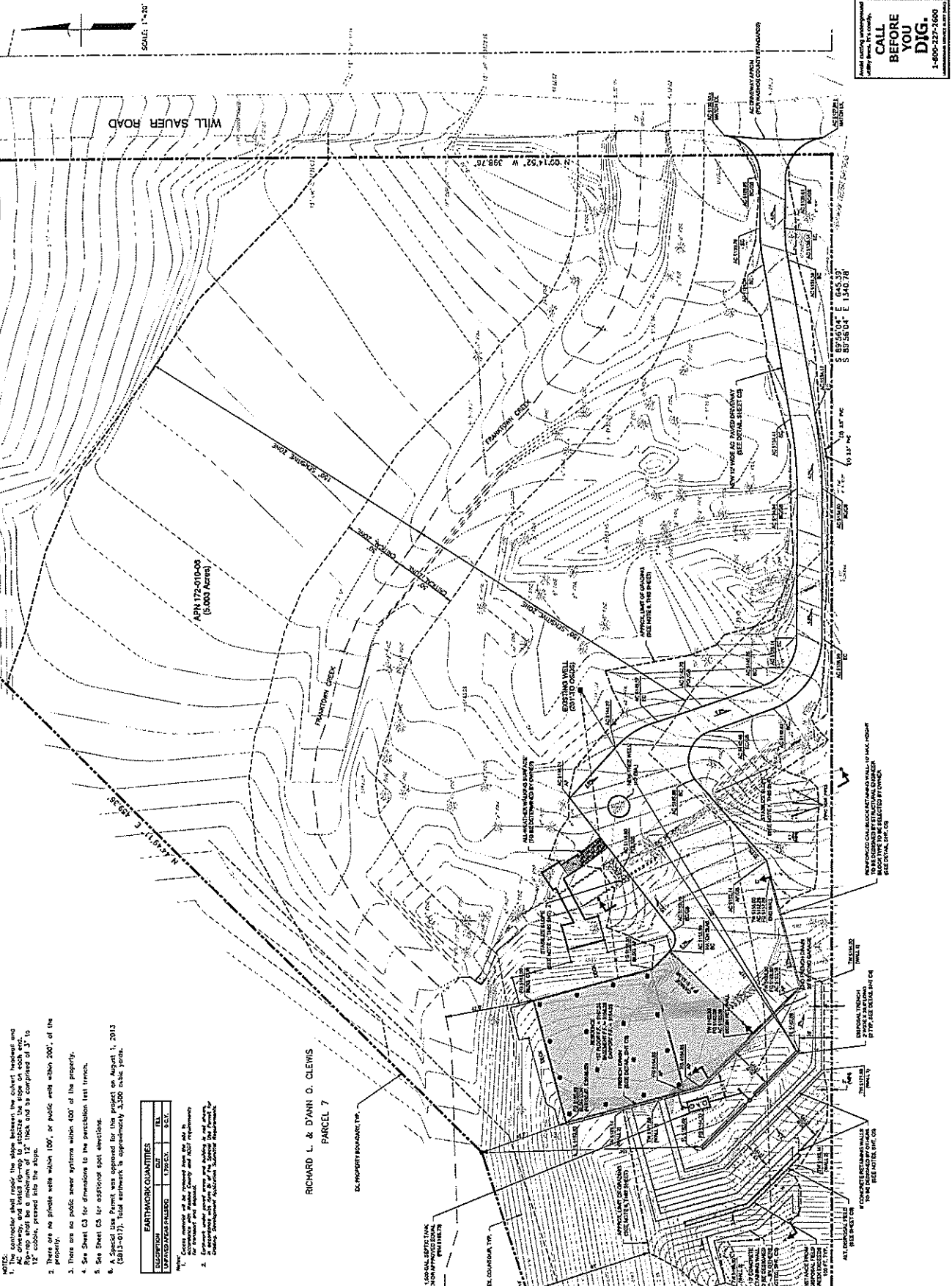
PROJECT: SB15-004
 DRAWN BY: JAC
 CHECKED BY: JAC
 SHEET: C4 OF 5



SPECIAL USE PERMIT FOR GRADING
 ACQUAS & BETH LEE FRANK RESIDENCE
 55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
 APRN 172-010-08

REVISION	DATE

Resource Concepts Inc
 Engineering • Surveying • Water Rights
 Resources & Environmental Services
 Carson City, NV
 200 N. Nevada St.
 89101-1122
 775-683-1500
 775-208-1500
 775-683-1500
 Fax: 775-683-1500
 www.rci-nv.com



- NOTES:
1. Accuracy shall mean the difference between the actual horizontal and vertical dimensions and the dimensions shown on the drawing. The accuracy of the drawing shall be a minimum of 1/8" and be comprised of 3" to 12" contour, printed into the sheet.
 2. There are no private wells within 100', or public wells within 200', of the property.
 3. There are no public sewer systems within 400' of the property.
 4. See Sheet C3 for dimensions to the pre-tensioned test trench.
 5. See Sheet C3 for easement spot elevations.
 6. A Special Use Permit was approved for this project on August 1, 2013 (SB15-017). Total earthwork is approximately 3,300 cubic yards.

DESCRIPTION	CUYD	TL
GRADED AND FINISHED	1,795.53	0.52
Total Earthwork: 1,795.53 CUYD		

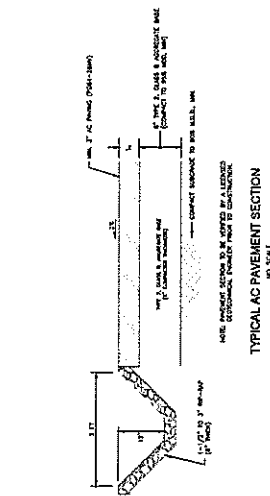
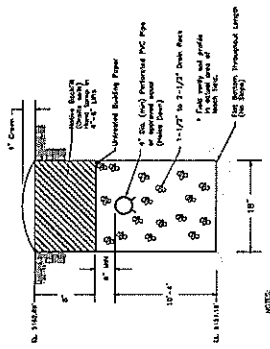
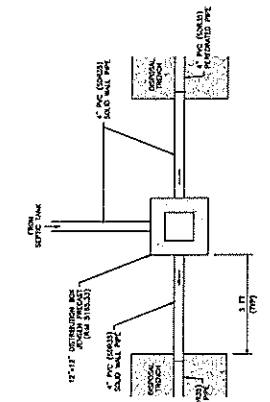
RICHARD L. & D'ANN O. CLEWIS
 PARCEL 7



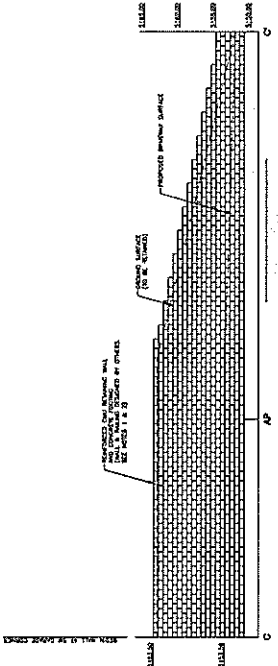
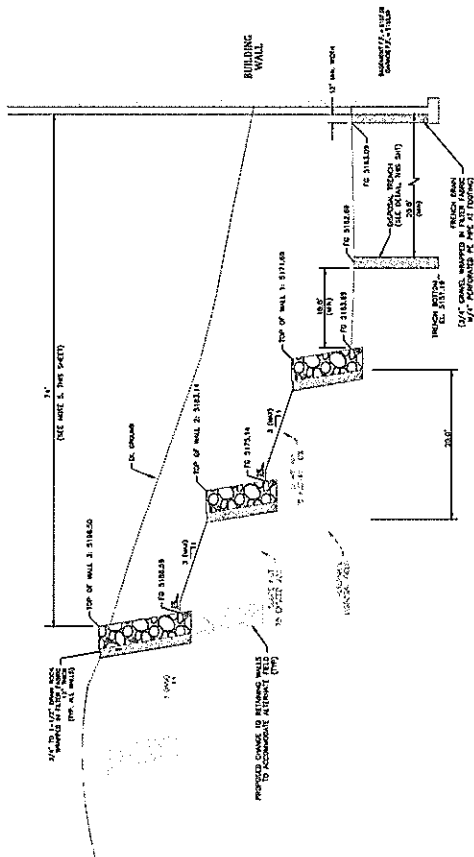
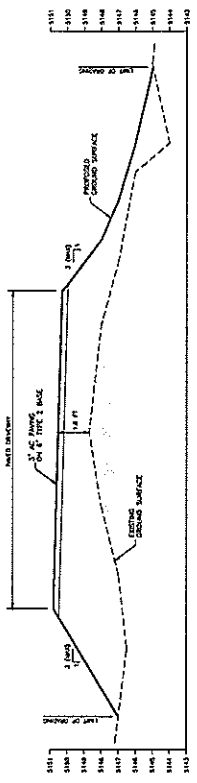
REVISION	
DATE	

DETAILS
 SPECIAL USE PERMIT FOR GRADING
 JOUCES & BETH LE RYAN RESIDENCE
 55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
 APRN 172-010-06

REGISTERED PROFESSIONAL ENGINEER - STATE OF NEVADA
 JOSEPH L. JOHNSON
 CIVIL
 EXP. DATE: AUG. 12, 2015
 DESIGNED: JJC
 DRAWN: KLM
 CHECKED: JJC
 SHEET CS OF 5



TYPICAL OSDS DETAIL
 NO SCALE



CALL BEFORE YOU DIG.
 1-800-327-2600

REINFORCED CHAU BLOCK RETAINING WALL
 NO SCALE

TYPICAL GRAVITY WALL SECTION
 NO SCALE

NOTE:
 CONSIDERATION WAS GIVEN TO CONSTRUCTING THE RESIDENCE CLOSER TO WILL SAUER ROAD. GIVEN THE BUILDING AND SEPTIC SYSTEM SETBACK REQUIREMENTS, THERE IS NOT ENOUGH ROOM TO ACCOMMODATE CONSTRUCTION. FACTORS SUPPORTING THE PROPOSED LOCATION ARE SHOWN ON THIS FIGURE.

RICHARD L. & D'ANN O. CLEWIS
 PARCEL 7



ALT. SITE EVALUATION
 SPECIAL USE PERMIT
 LE FRIANT RESIDENCE
 55 Will Sauer Road
 Washoe County, Nevada



Houston W. Crisp

205 Will Sauer Rd.
Washoe Valley, NV 89704

(425) 681-7887
hwcrisp@aol.com

September 10, 2015

By hand to
Washoe Valley Citizen Advisory Board
Meeting of September 10, 2015

Subject: Special Use Permit Case Number SB 15-004 (LeFriant Family Trust)

I wish to address two principal matters: public support and compliance with Special Use Permit (SUP) and Sensitive Stream Zone requirements established in the Washoe County Development Code.

Public Support

I have personally communicated with all but the two residents furthest from the proposed project. There is 100% support. The applicant's lot is zoned for a single family residence, the proposal is consistent with other houses in the immediate vicinity, development of the lot is hard to see from the road, and every resident is aware that the development has been under way for years. So, there is no surprise. No one that I know of perceives any impact to their own lives or property. I am supportive of the application.

Compliance with Washoe County Development Codes

Section 110.418.00 Purpose. This article establishes standards for use of land in "critical stream zone buffer area" and "sensitive stream zone buffer area" to preserving and protecting perennial streams within Washoe County to implement a policy of "no net loss" of significant *hydrological resource size, function and value.*

Necessary disturbance for construction is outside the "critical stream buffer area." Part of it lies within the 150-foot boundary designated the "sensitive stream zone buffer area" along Franktown Creek. The proposed project affects a tiny fraction of the hydrological resource's overall size. It is far below the level of "significant" in both size and value. Secondly, since runoff is ultimately returned to the local hydrologic system, there is no change in function or value. It is noted that the short reach of Franktown Creek that flows through the property has long had greatly diminished hydrological value due to irrigation diversions upstream.

The purpose of Section 110.418.00 is met.

Section 110.418.25 Sensitive Stream Zone Buffer Area Development Standards

Any construction in the sensitive stream zone buffer area will require submission of a grading plan showing compliance with applicable best management practices as defined by the Washoe County Department of Public Works to minimize stream bank and stream bed erosion. The grading plan shall also be designed to prevent construction drainage and materials from

increasing sedimentation impacts to the stream environment and to minimize impervious surfaces.

Single family residences are an outright allowed use in this sensitive zone. The only reason that a SUP is required in this case is that excavation for the structure and regrading of the existing driveway exceeds 1,000 cu yd.

In compliance with this Section, a grading plan prepared by a licensed civil engineer has been submitted and accepted. It is accompanied by drainage and erosion control plans. The General Conditions of the plan specify that "All work shall conform to 'Standard Specifications for Public Works Construction' (Orange Book), 'Standard Details for Public Works Construction,' Washoe County Standards, State of Nevada Health Division and Division of Environmental Protection and OSHA requirements, Washoe County adopted International Building Code," and special requirements of the project as shown on the plan. Standards for public works, used for this proposed project, generally exceed the requirements for residential construction.

Best management practices for erosion control are described and illustrated on the Erosion Control Plan. These include grading for proper drainage and use of fiber rolls and other runoff retarding materials; preventing stream bank and bed erosion. The plan also shows how sedimentation impacts to the stream environment will be prevented by extensive use of fiber rolls placed to avoid allowing runoff to run under or around them. The impervious surface is depicted on Sheet C3 of 5, showing a standard width AC pavement driveway, a paved turnaround area necessary for fire equipment, and the house/garage structure.

The requirements of Section 110.418.25 are met.

Section 110.418.30 Special Review Considerations. In addition to the findings required by Article 810, Special Use Permits, prior to approving an application for development in the critical stream zone buffer area or the sensitive stream zone buffer area, the record at the Board of Adjustment shall demonstrate that the following special review considerations are addressed:

(a) Conservation of topsoil;

Conservation of topsoil is achieved by excavating the minimum necessary to construct the project. Further, the grading plan's General Notes include: "If excavated material is deemed suitable as backfill by the Geotechnical Engineer at the time of excavation, the Contractor shall separate it from the unsuitable material. The excavated soil shall be stockpiled and protected from weather."

(b) Protection of surface water quality;

Surface water quality is protected in accordance with the grading plan's section on Construction Materials: "The Contractor shall be required to comply with all federal, state and local receiving water quality requirements that may be applicable." This is achieved as described in the drainage and erosion control submittals, already summarized herein.

(c) Conservation of natural vegetation, wildlife habitats and fisheries;

Due to natural environmental conditions, and previous disturbance, the section of Franktown Creek crossing the subject property supports little natural vegetation, wildlife habitat, or fisheries. The

measures already described for controlling grading, drainage, erosion, and revegetation are more than adequate to achieve the goals of this subsection.

(d) Control of erosion;

Erosion control is described and shown on the Erosion Control Plan, Sheet C3 of 5. As described earlier, effective grading and liberal use of surface flow-intercepting fiber rolls are expected to prevent erosion. The SUP Application elaborates on this: "Fiber rolls, erosion control blankets and wood fiber hydromulch/tackifiers will also be incorporated to help prevent erosion." After construction, the specifications for revegetation, grading for drainage, and maintenance of some of the natural swales are intended to permanently avoid erosion.

(e) Control of drainage and sedimentation;

Control of drainage and sedimentation is shown on the Grading and Drainage Plan, which was discussed, above. The General Conditions of the plan further state that, "At the conclusion of construction, the Contractor shall schedule a final walk-through with the Project Engineer, Owner, and Washoe County Inspector. At the discretion of the Project Engineer, all improved areas shall be subject to a flow test to ensure constructed grades meet the design and accommodate the intended drainage. Improved areas deviating from these plans that do not drain properly, will be revoked and reconstructed..." "During the process of excavation, the Contractor shall maintain the grade in such condition that it will be drained at all times, and install temporary drains and drainage ditches to intercept or direct surface water which may not affect the promotion or condition of the work."

(f) Provision for restoration of the project site to predevelopment conditions;

Restoration of the project site to predevelopment conditions would be accomplished mainly through revegetation. It should be remembered that the natural values within the existing sensitive buffer zone are already substantially impaired and mostly absent. Nevertheless, the SUP Application documents the plan to use *native plants seedmix and hydromulch for site revegetation.*

(g) Provision of a bonding program to secure performance of requirements imposed; and

Performance of the requirements imposed by the grading, drainage, and erosion plans is secured by specification that any deviation by the Contractor not approved by the Project Engineer will be corrected at the Contractor's own expense. Periodic inspection for conformance further assures compliance.

(h) Preservation of the hydrologic resources, character of the area and other conditions as necessary.

Preservation of the hydrologic resources has already been discussed, above. The character of the area, which is rural residential, is unaffected by construction of a rural residence that retains most of the natural values of the site for aesthetic reasons.

The requirements of Section 110.418.30 are met.

Special Use Permit; Section 110.810.30 Findings. Prior to approving an application for a special use permit, the Planning Commission, Board of Adjustment or a hearing examiner shall find that all of the following are true:

(a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

The Washoe County area plan designates the property for single-family residential use. A single-family residence is proposed. The Franktown Estates Homeowners Association has approved the plans that have been submitted.

(b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Electrical power and natural gas are available at the site. The property is served by a two-lane paved private road, maintained under a written agreement among the residents. Waste Management provides garbage collection. Water supply is from an existing well. Wastewater disposal is planned as an onsite system, illustrated in the plans. Washoe County divisions reviewed the plans for adequate public facilities and offered no comments.

(c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

The site has been determined to be suitable for the proposal by a licensed civil engineer.

(d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

Nothing indicates that issuance of the permit will adversely affect public health, safety or welfare. Owners of adjacent properties and more distant residents have indicated their support for the development.

(e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

No military installation is located in the area.

The requirements of Section 110.810.30 are met.

Thank you. Sincerely,



Houston W. Crisp

Cc: Roger Pelham, Washoe County Planning and Development Division

LAW OFFICES OF

THOMAS J. HALL

ATTORNEYS AND COUNSELORS AT LAW
305 SOUTH ARLINGTON AVENUE
RENO, NEVADA 89501

THOMAS J. HALL
GREGORY J. HALL*
*ALSO LICENSED IN COLORADO

TELEPHONE
(775) 348-7011
FAX (775) 348-7211
E-MAIL: tjhlaw@eschelon.com

September 10, 2015

Roger Pelham, Planner
Washoe County Department of Planning and Development
Post Office Box 11130
Reno, NV 89520-0027

**RE: Application for Special Use Permit
SB15-004 (Le Friant Family Trust)**

Dear Roger:

As you know, our Law Firm represents George W. Gillemot, Trustee, who owns and operates the Sunset Ranch in West Washoe Valley, "downstream" from the above-referenced project.

Mr. Gillemot owns substantial surface and underground water rights in West Washoe Valley, serving his Ranch, and is a stockholder in the Franktown Irrigation Company.

Mr. Gillemot's Ranch is also benefitted by certain easements along Franktown Creek, which easements have been depicted on a Record of Survey for George W. Gillemot Family Trust Survey Map 3750B, recorded on March 17, 2000, as Document 2431043, a copy of which is attached for your ready reference.

These easements and water ways are also shown on the August 11, 1954, Map to Accompany Proof of Appropriation for Irrigation and Domestic Purposes by The Franktown Creek Irrigation Company from Franktown Creek, Water Map 02395. A portion of the cover sheet and Sheet 4 are enclosed herewith for your ready reference.

Further, an examination of Parcel Maps 3142 and 3206, affecting the Applicant Le Friants' property, shows Ditch Easements ten feet (10') wide to sixty feet (60') wide on the creek and ditch centerlines, therein described. Specifically,

**SB15-004
EXHIBIT F**

THOMAS J. HALL

ATTORNEYS AND COUNSELORS AT LAW

Roger Pelham
September 10, 2015

the Irrigation and Ditch Easements are set forth, depicted and referenced on the 3rd Parcel Map for Heidenreich Family Trust, Map 3206, as follows:

IRRIGATION DITCH EASEMENT

A Ditch Easement for access and maintenance is hereby set aside and granted to holders of water rights through existing ditches with a width of 15 feet on each side of the ditch centerline herein described.

DRAINAGE EASEMENT

A Drainage Easement shall be maintained 10 feet in width along all intermittent storm drain channels.

FRANKTOWN CREEK

A setback distance is hereby set of 30 feet on each side of the centerline of Franktown Creek as described herein.

It is important to Mr. Gillemot that the Franktown Creek Easement, Irrigation Ditch Easement and Drainage Easement be protected for the benefit of downstream users, including Mr. Gillemot's Sunset Ranch.

We request that you make reference to and add a note on your possible Conditions of Approval for the Le Friants' Special Use Permit, that they recognize, protect and not interfere with or harm these various easements to their full widths, either by any future improvements or landscaping. Further, no additional cuts and/or fills may be made to the various easement areas without prior written approval.

Your early attention to this matter is appreciated. If you have any questions, feel free to contact our office.

By copy of this letter and enclosures to the Le Friants, we are informing them of same.

LAW OFFICES OF

THOMAS J. HALL

ATTORNEYS AND COUNSELORS AT LAW

Roger Pelham
September 10, 2015

Thank you.

Sincerely,



Thomas J. Hall, Esq.

TJH:smk

Enclosures: Record of Survey George W. Gillemot Family Trust
Map to Accompany Proof, Map 02395
Parcel Map 3142
3rd Parcel Map 3026

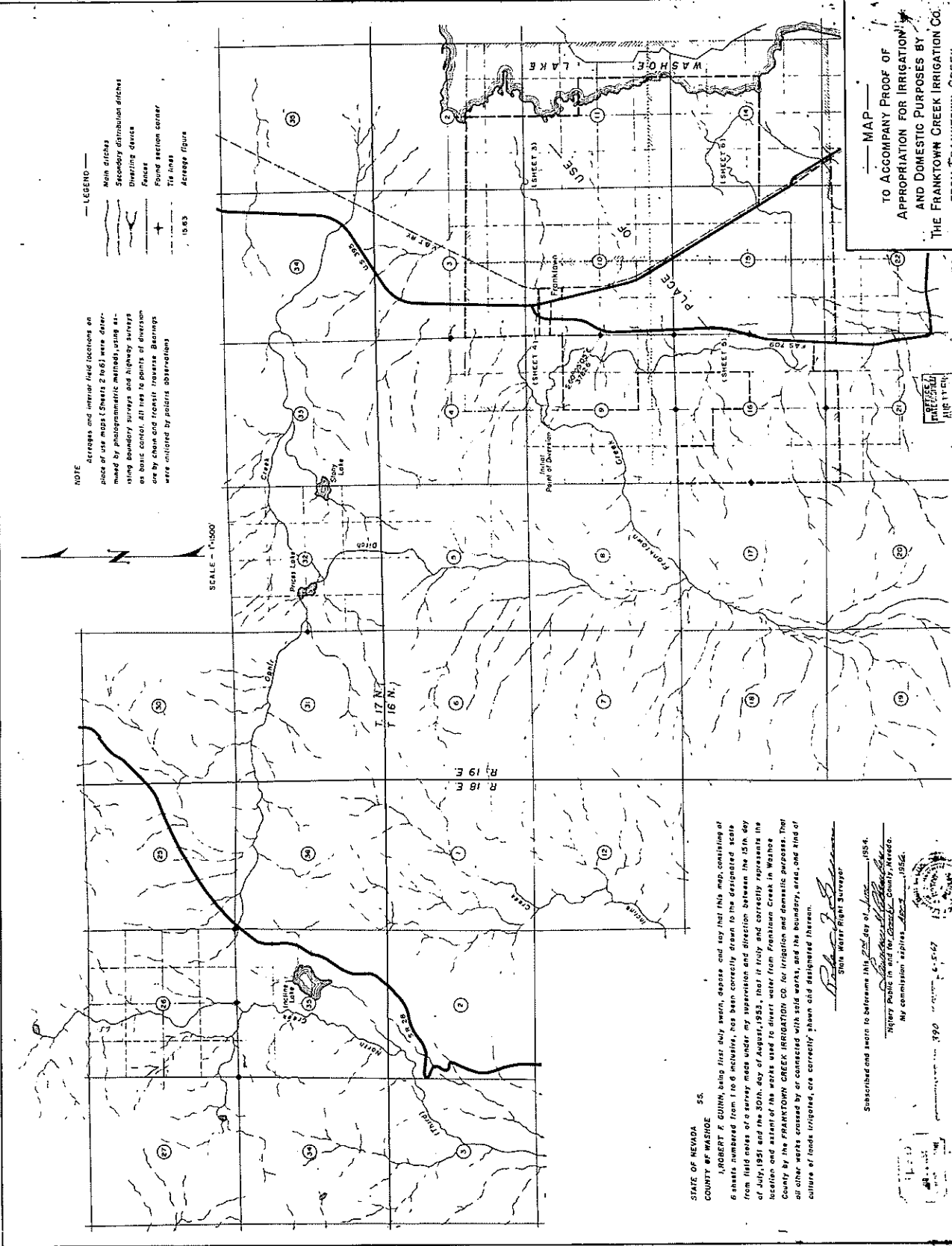
cc: Client (w/enclosures)

Mary E. & Jacques C. Le Friant, Trustees (w/enclosures)

NOTE
 Acreages and interior field locations on maps of this map (Sheets 2 to 6) were determined by photogrammetric methods using aerial photography and highway surveys on basic control. All ties to points of discussion are by chain and frequent traverses. Bearings were obtained by plane table observations.

LEGEND
 Main ditches
 Secondary distribution ditches
 Ditching device
 Fence
 Point section corner
 Tie line
 Acreage figure
 1963

SCALE - 1"=1500'



STATE OF NEVADA ss.
 COUNTY OF WASHOE

I, ROBERT K. QUINN, being first duly sworn, depose and say that this map, consisting of 6 sheets numbered from 1 to 6 inclusive, has been correctly drawn to the designated scale from field notes of a survey made under my supervision and direction between the 15th day of July, 1951 and the 30th day of August, 1953, that it truly and correctly represents the location and extent of the works used to divert water from Franktown Creek in Washoe County by the FRANKTOWN CREEK IRRIGATION CO. for irrigation and domestic purposes, that all other works crossed by or connected with said works, and the boundary, area, and kind of culture of lands irrigated, are correctly shown and designated thereon.

Robert K. Quinn
 State Water Right Surveyor

Subscribed and sworn to before me this 2nd day of June, 1954.
 My commission expires June 1, 1954.



MAP
 TO ACCOMPANY PROOF OF
 APPROPRIATION FOR IRRIGATION
 AND DOMESTIC PURPOSES BY
 THE FRANKTOWN CREEK IRRIGATION CO.
 FROM FRANKTOWN CREEK

LAND USE TABULATION

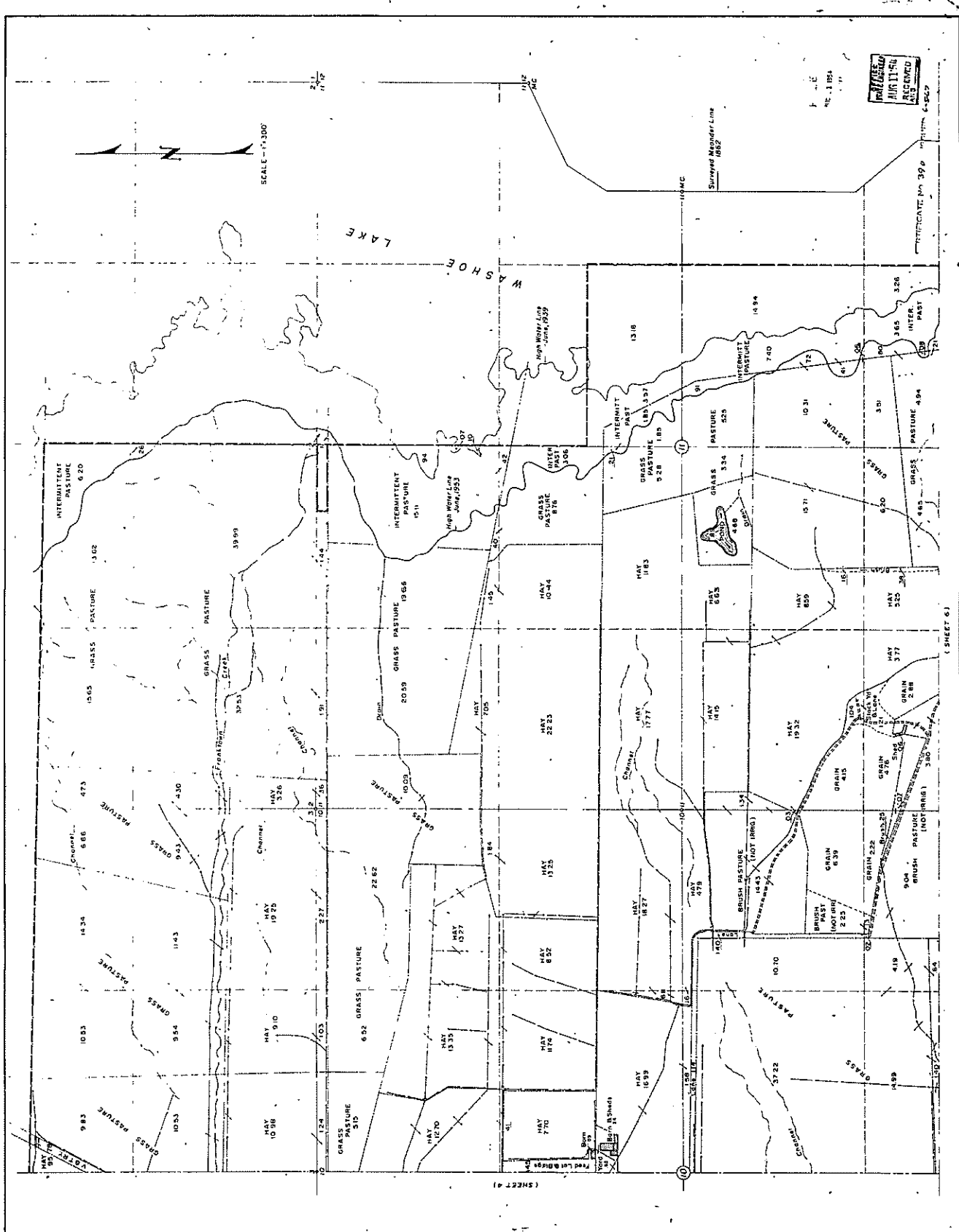
Map of land in T.6N, R.19E

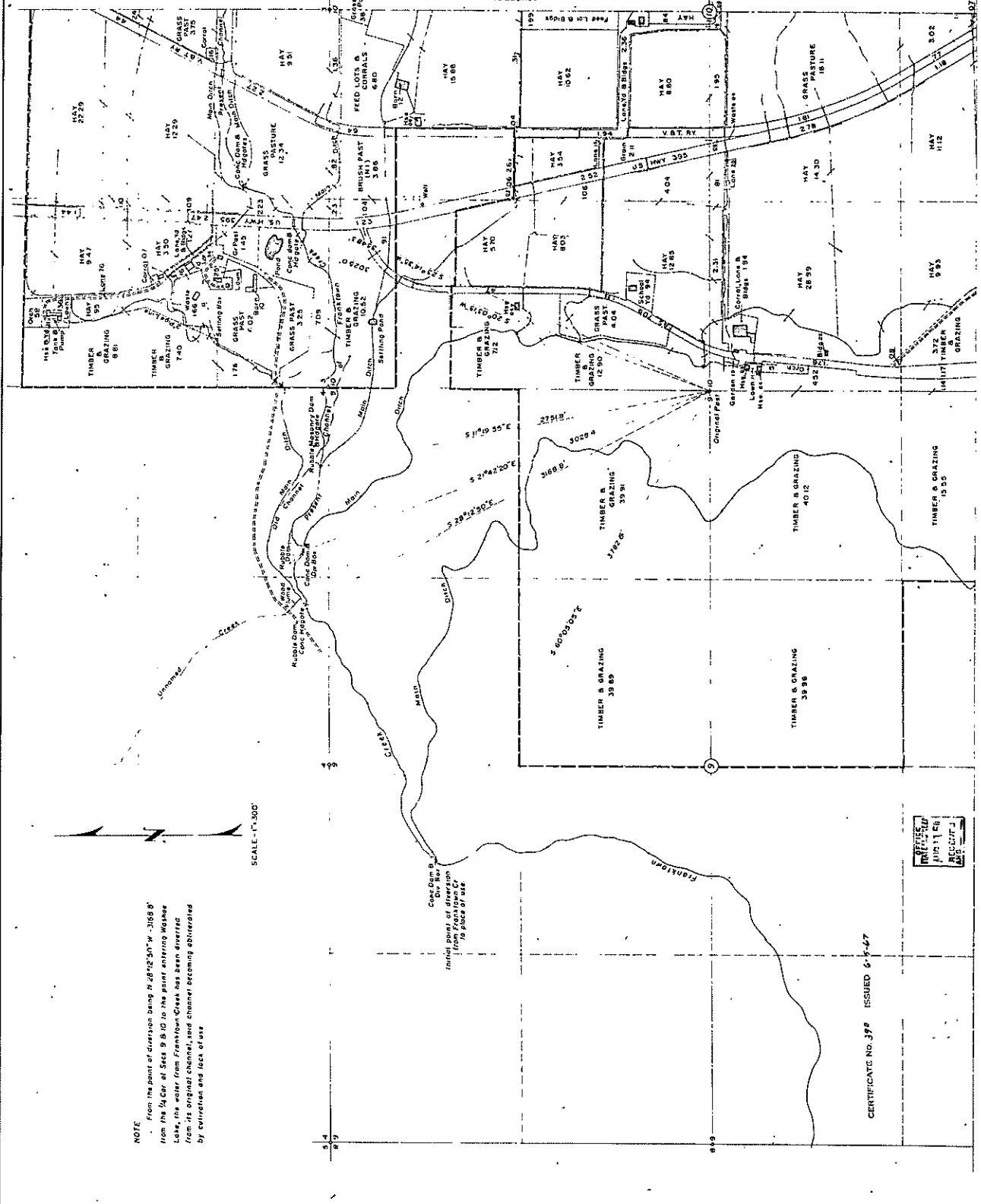
SEC. SUB-DIVISION	GREEN	ALFALFA	PASTURE	CULTIVATED ACREAGE	ORCHARD	GARDEN	LAWN	FALLOW	NOT IN USE	TOTAL
2	10.46	17.58	3.49	13.82	6.20				19.82	40.14
- NE 1/4 NE 1/4	25.46	28.5	7.31	20.38					20.38	40.14
- SW 1/4 NE 1/4	11.85	26.21		40.09					40.09	40.14
- SE 1/4 NE 1/4	9.68	873	12.94						12.94	40.14
- NW 1/4 NE 1/4	3.1	22.85								40.14
- NE 1/4 SW 1/4	4.29	25.17		21.20					21.20	40.14
- SE 1/4 SW 1/4	2.95	35.79		20.26					20.26	40.14
- NW 1/4 SW 1/4	4.03	35.79		20.07					20.07	40.14
- SW 1/4 SW 1/4	3.5	32.55	2.45	20.86					20.86	40.14
- NE 1/4 NW 1/4	15.82	15.89	14.82	25					25	40.14
- SE 1/4 NW 1/4	19.30	23	12.91	23.38					23.38	40.14
- NW 1/4 NW 1/4	19.30	11.97	9.13	12.85					12.85	40.14
- SW 1/4 NW 1/4	5.94	4.47	3.17	21.80					21.80	40.14
- SE 1/4 NW 1/4	4.94	4.47	3.17	16.09					16.09	40.14
- TOTAL	139.23	323.1	261.40	43.76	86	2.07	21	27.28	42.21	632.31

SEC. SUB-DIVISION	GREEN	ALFALFA	PASTURE	CULTIVATED ACREAGE	ORCHARD	GARDEN	LAWN	FALLOW	NOT IN USE	TOTAL
15	10.46	17.58	3.49	13.82	6.20				19.82	40.14
- NE 1/4 NE 1/4	25.46	28.5	7.31	20.38					20.38	40.14
- SW 1/4 NE 1/4	11.85	26.21		40.09					40.09	40.14
- SE 1/4 NE 1/4	9.68	873	12.94						12.94	40.14
- NW 1/4 NE 1/4	3.1	22.85								40.14
- NE 1/4 SW 1/4	4.29	25.17		21.20					21.20	40.14
- SE 1/4 SW 1/4	2.95	35.79		20.26					20.26	40.14
- NW 1/4 SW 1/4	4.03	35.79		20.07					20.07	40.14
- SW 1/4 SW 1/4	3.5	32.55	2.45	20.86					20.86	40.14
- NE 1/4 NW 1/4	15.82	15.89	14.82	25					25	40.14
- SE 1/4 NW 1/4	19.30	23	12.91	23.38					23.38	40.14
- NW 1/4 NW 1/4	19.30	11.97	9.13	12.85					12.85	40.14
- SW 1/4 NW 1/4	5.94	4.47	3.17	21.80					21.80	40.14
- SE 1/4 NW 1/4	4.94	4.47	3.17	16.09					16.09	40.14
- TOTAL	139.23	323.1	261.40	43.76	86	2.07	21	27.28	42.21	632.31

NOTE: Acres of culture and acreage data shown are based on the results of a land use study conducted from May, 1953 to August 30th, 1955, and represent the use during that period. Data of priority is prior to 1953, when all lands now under cultivation were completely in private ownership and used for agricultural purposes.

CONTRACT NO. 599 (REVISED) 6-5-57





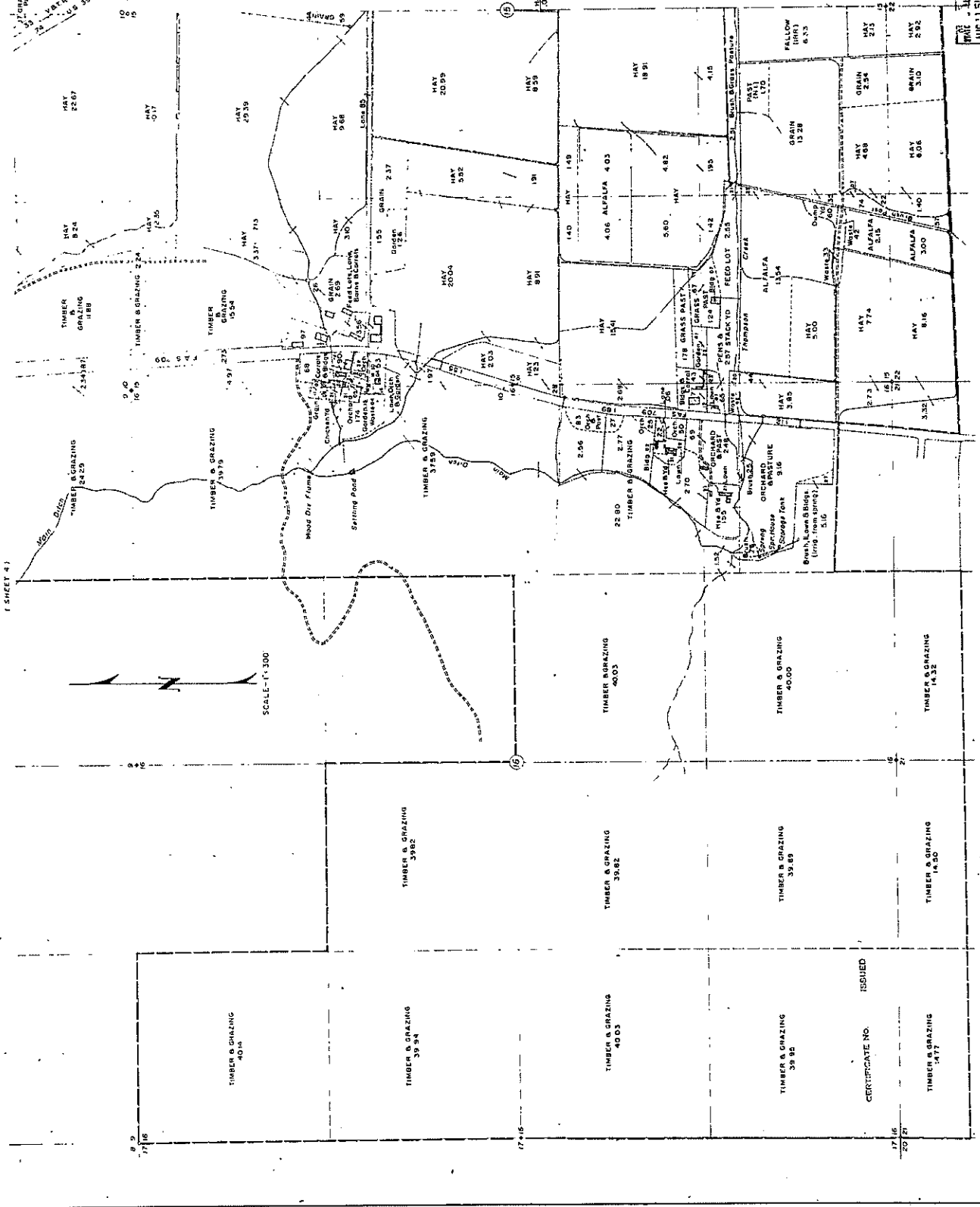
NOTE
 From the point of diversion being N 28°12'50"W - 3158.9'
 from the 1/4 Cor. of Sec 9 B.10 to the point entering the
 Lake, the water from Fronttown Creek has been diverted
 from its original channel, said channel becoming obliterated
 by erosion and lack of use.

SCALE - 1" = 300'

Point of diversion
 from the creek
 to place of use

CERTIFICATE No. 377 ISSUED 6-1-67





(SHEET 4)

27.77 GRASS
 24.14 PAST
 24.14 PAST
 24.14 PAST
 24.14 PAST

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TIMBER & GRAZING 40.04

TIMBER & GRAZING 39.84

TIMBER & GRAZING 40.03

TIMBER & GRAZING 39.85

CERTIFICATE NO. ISSUED

TIMBER & GRAZING 14.77

TIMBER & GRAZING 39.82

TIMBER & GRAZING 39.82

TIMBER & GRAZING 39.85

TIMBER & GRAZING 14.32

TIMBER & GRAZING 40.03

TIMBER & GRAZING 40.00

TIMBER & GRAZING 14.32

TIMBER & GRAZING 39.79

TIMBER & GRAZING 37.53

TIMBER & GRAZING 22.80

TIMBER & GRAZING 3.85

TIMBER & GRAZING 3.02

TIMBER & GRAZING 24.25

TIMBER & GRAZING 22.24

TIMBER & GRAZING 15.54

TIMBER & GRAZING 2.69

TIMBER & GRAZING 2.37

TIMBER & GRAZING 1.91

TIMBER & GRAZING 4.82

TIMBER & GRAZING 4.10

TIMBER & GRAZING 13.28

TIMBER & GRAZING 3.10

TIMBER & GRAZING 2.92

TIMBER & GRAZING 8.24

TIMBER & GRAZING 12.25

TIMBER & GRAZING 20.39

TIMBER & GRAZING 3.37

TIMBER & GRAZING 2.69

TIMBER & GRAZING 2.37

TIMBER & GRAZING 1.91

TIMBER & GRAZING 4.82

TIMBER & GRAZING 4.10

TIMBER & GRAZING 13.28

TIMBER & GRAZING 3.10

TIMBER & GRAZING 22.67

TIMBER & GRAZING 20.39

TIMBER & GRAZING 2.69

TIMBER & GRAZING 2.37

TIMBER & GRAZING 1.91

TIMBER & GRAZING 4.82

TIMBER & GRAZING 4.10

TIMBER & GRAZING 13.28

TIMBER & GRAZING 3.10

TIMBER & GRAZING 2.92

TIMBER & GRAZING 22.67

TIMBER & GRAZING 20.39

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TIMBER & GRAZING 2.37

TIMBER & GRAZING 1.91

TIMBER & GRAZING 4.82

TIMBER & GRAZING 4.10

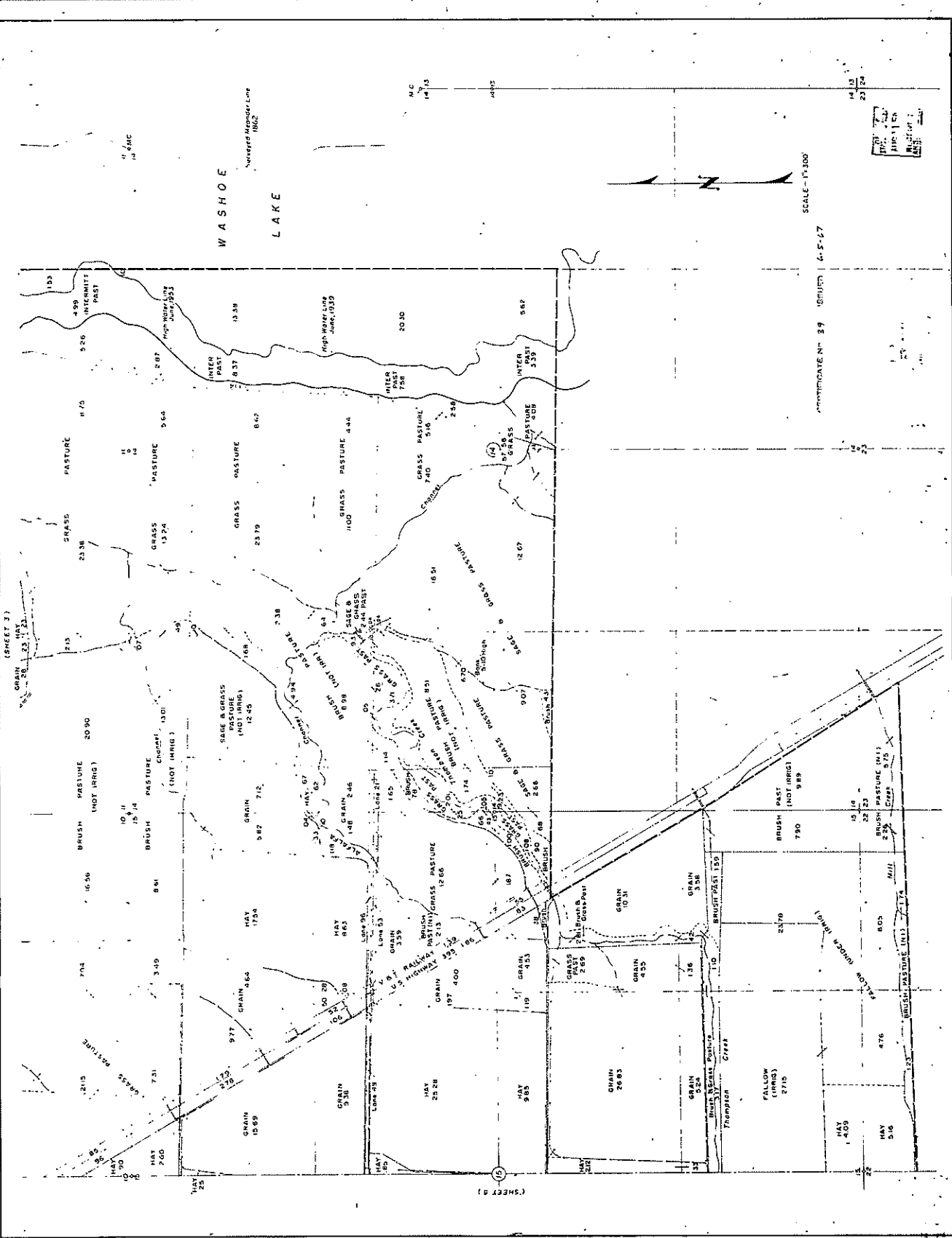
TIMBER & GRAZING 13.28

TIMBER & GRAZING 3.10

TIMBER & GRAZING 2.92

TIMBER & GRAZING 2.92

WASHOE LAKE



SCALE - 1" = 300'

PLATIFICATE NO. 59 (SHEET) 6-5-67



LINE TABLE: SEGMENT #1

LINE NO.	BEARING	DISTANCE	LINE NO.	BEARING	DISTANCE
1-1	S82°12'21" E	403.71 FT	1-21	S72°25'56" W	173.83 FT
1-2	S53°30'27" E	125.85 FT	1-22	S71°15'57" W	47.61 FT
1-3	S75°00'00" E	42.33 FT	1-23	S55°35'21" W	72.24 FT
1-4	S45°12'45" E	82.33 FT	1-24	S62°12'45" W	107.56 FT
1-5	S67°47'47" E	23.28 FT	1-25	S57°17'48" W	45.85 FT
1-6	S73°23'24" E	23.28 FT	1-26	S53°17'48" W	45.85 FT
1-7	S75°00'00" E	151.11 FT	1-27	S55°35'21" W	72.24 FT
1-8	S73°23'24" E	151.11 FT	1-28	S53°17'48" W	45.85 FT
1-9	S75°00'00" E	151.11 FT	1-29	S55°35'21" W	72.24 FT
1-10	S73°23'24" E	151.11 FT	1-30	S53°17'48" W	45.85 FT
1-11	S75°00'00" E	151.11 FT	1-31	S55°35'21" W	72.24 FT
1-12	S73°23'24" E	151.11 FT	1-32	S53°17'48" W	45.85 FT
1-13	S75°00'00" E	151.11 FT	1-33	S55°35'21" W	72.24 FT
1-14	S73°23'24" E	151.11 FT	1-34	S53°17'48" W	45.85 FT
1-15	S75°00'00" E	151.11 FT	1-35	S55°35'21" W	72.24 FT
1-16	S73°23'24" E	151.11 FT	1-36	S53°17'48" W	45.85 FT
1-17	S75°00'00" E	151.11 FT	1-37	S55°35'21" W	72.24 FT
1-18	S73°23'24" E	151.11 FT	1-38	S53°17'48" W	45.85 FT
1-19	S75°00'00" E	151.11 FT	1-39	S55°35'21" W	72.24 FT
1-20	S73°23'24" E	151.11 FT	1-40	S53°17'48" W	45.85 FT

LINE TABLE: SEGMENT #2

LINE NO.	BEARING	DISTANCE	LINE NO.	BEARING	DISTANCE
2-1	S82°12'21" E	403.71 FT	2-21	S72°25'56" W	173.83 FT
2-2	S53°30'27" E	125.85 FT	2-22	S71°15'57" W	47.61 FT
2-3	S75°00'00" E	42.33 FT	2-23	S55°35'21" W	72.24 FT
2-4	S45°12'45" E	82.33 FT	2-24	S62°12'45" W	107.56 FT
2-5	S67°47'47" E	23.28 FT	2-25	S57°17'48" W	45.85 FT
2-6	S73°23'24" E	23.28 FT	2-26	S53°17'48" W	45.85 FT
2-7	S75°00'00" E	151.11 FT	2-27	S55°35'21" W	72.24 FT
2-8	S73°23'24" E	151.11 FT	2-28	S53°17'48" W	45.85 FT
2-9	S75°00'00" E	151.11 FT	2-29	S55°35'21" W	72.24 FT
2-10	S73°23'24" E	151.11 FT	2-30	S53°17'48" W	45.85 FT
2-11	S75°00'00" E	151.11 FT	2-31	S55°35'21" W	72.24 FT
2-12	S73°23'24" E	151.11 FT	2-32	S53°17'48" W	45.85 FT
2-13	S75°00'00" E	151.11 FT	2-33	S55°35'21" W	72.24 FT
2-14	S73°23'24" E	151.11 FT	2-34	S53°17'48" W	45.85 FT
2-15	S75°00'00" E	151.11 FT	2-35	S55°35'21" W	72.24 FT
2-16	S73°23'24" E	151.11 FT	2-36	S53°17'48" W	45.85 FT
2-17	S75°00'00" E	151.11 FT	2-37	S55°35'21" W	72.24 FT
2-18	S73°23'24" E	151.11 FT	2-38	S53°17'48" W	45.85 FT
2-19	S75°00'00" E	151.11 FT	2-39	S55°35'21" W	72.24 FT
2-20	S73°23'24" E	151.11 FT	2-40	S53°17'48" W	45.85 FT

LINE TABLE: SEGMENT #3

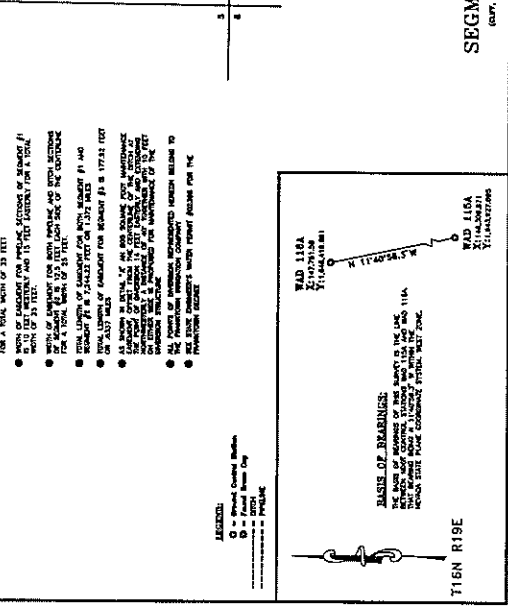
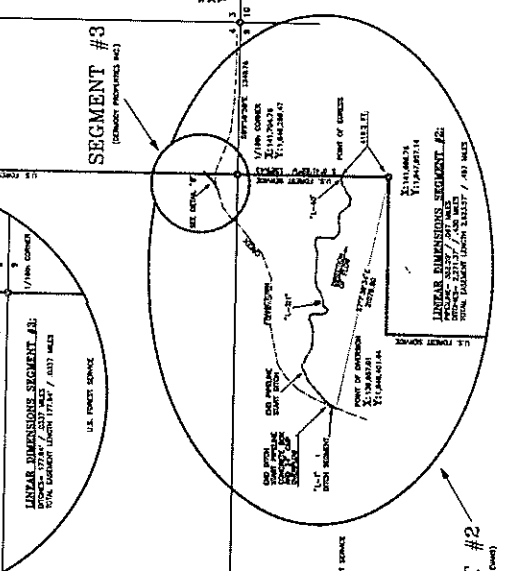
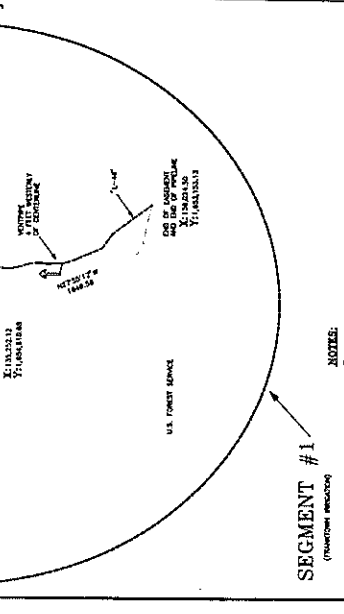
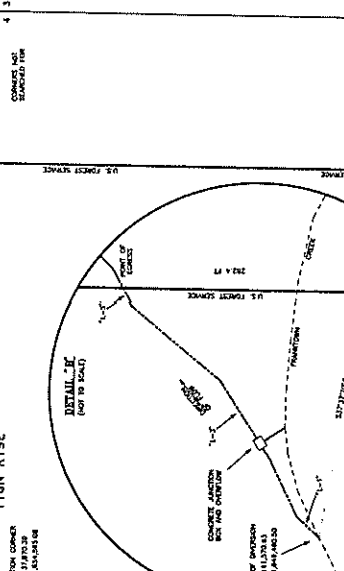
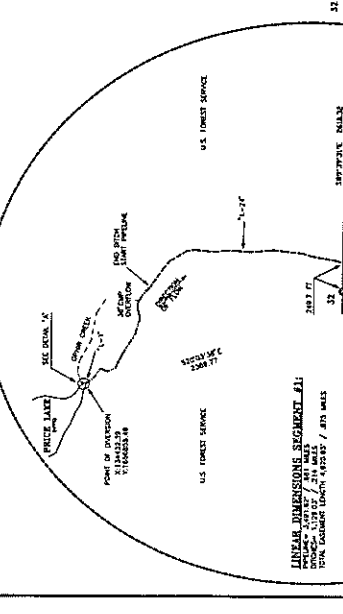
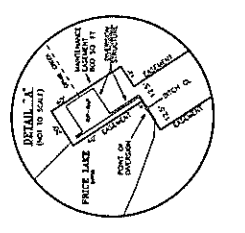
LINE NO.	BEARING	DISTANCE	LINE NO.	BEARING	DISTANCE
3-1	S82°12'21" E	403.71 FT	3-21	S72°25'56" W	173.83 FT
3-2	S53°30'27" E	125.85 FT	3-22	S71°15'57" W	47.61 FT
3-3	S75°00'00" E	42.33 FT	3-23	S55°35'21" W	72.24 FT
3-4	S45°12'45" E	82.33 FT	3-24	S62°12'45" W	107.56 FT
3-5	S67°47'47" E	23.28 FT	3-25	S57°17'48" W	45.85 FT
3-6	S73°23'24" E	23.28 FT	3-26	S53°17'48" W	45.85 FT
3-7	S75°00'00" E	151.11 FT	3-27	S55°35'21" W	72.24 FT
3-8	S73°23'24" E	151.11 FT	3-28	S53°17'48" W	45.85 FT
3-9	S75°00'00" E	151.11 FT	3-29	S55°35'21" W	72.24 FT
3-10	S73°23'24" E	151.11 FT	3-30	S53°17'48" W	45.85 FT
3-11	S75°00'00" E	151.11 FT	3-31	S55°35'21" W	72.24 FT
3-12	S73°23'24" E	151.11 FT	3-32	S53°17'48" W	45.85 FT
3-13	S75°00'00" E	151.11 FT	3-33	S55°35'21" W	72.24 FT
3-14	S73°23'24" E	151.11 FT	3-34	S53°17'48" W	45.85 FT
3-15	S75°00'00" E	151.11 FT	3-35	S55°35'21" W	72.24 FT
3-16	S73°23'24" E	151.11 FT	3-36	S53°17'48" W	45.85 FT
3-17	S75°00'00" E	151.11 FT	3-37	S55°35'21" W	72.24 FT
3-18	S73°23'24" E	151.11 FT	3-38	S53°17'48" W	45.85 FT
3-19	S75°00'00" E	151.11 FT	3-39	S55°35'21" W	72.24 FT
3-20	S73°23'24" E	151.11 FT	3-40	S53°17'48" W	45.85 FT

SURVEYOR'S CERTIFICATE

I, the undersigned, certify that the above is a true and correct copy of the original as filed in the office of the County Clerk of the County of ...

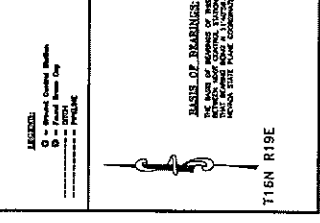
Witness my hand and seal of office this ... day of ... 1986.

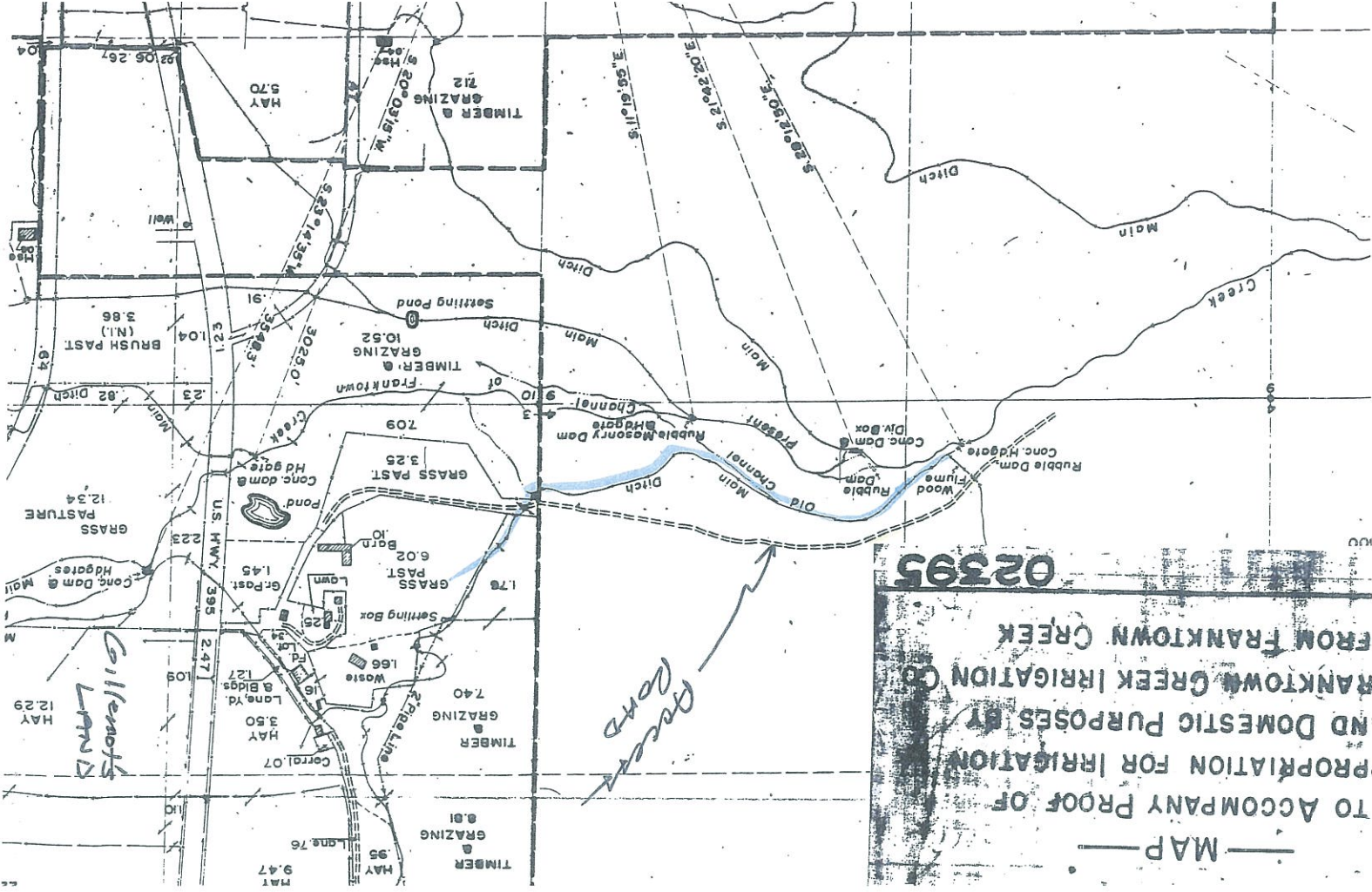
Surveyor's Seal



NOTES:

- BEARING AND DISTANCE FOR EACH COURSE OF SURVEY IS AS SHOWN ON THIS PLAN.
- BEARING AND DISTANCE FOR EACH COURSE OF SURVEY IS AS SHOWN ON THIS PLAN.
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MAP ——— TO ACCOMPANY PROOF OF PROPRIATION FOR IRRIGATION AND DOMESTIC PURPOSES BY FRANKTOWN CREEK IRRIGATION CO FROM FRANKTOWN CREEK

02395

LEGEND
 ◊ Found, recorded government lines
 A Found, covered rebar, P.L.S. 827.
 o Survey 20' radius with cap P.L.S. 827.

BASIS OF BEARINGS

Basis of bearings is Parcel Map No. 1806, recorded in Washoe County Records and Parcel Map No. 1809, File No. 180004.

PUBLIC UTILITY EASEMENTS

A Public Utility and City of Sparks, Nevada, hereby grants to the City of Sparks, Nevada, a public utility easement for the use of the City of Sparks, Nevada, in and over the right to sell, but parcel with said easement, for the use of the City of Sparks, Nevada, for the purpose of installing and operating a public utility system, and the utility company.

OWNER'S CERTIFICATE

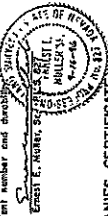
I, the undersigned, Gerald Neiser, hereby certify that the information furnished in this map, and the same is accurate in compliance with the provisions of the Nevada Survey Act, Chapter 217B, and the access, drainage and public utility easements shown on said parcel map are hereby granted.

STATE OF NEVADA
 COUNTY OF WASHOE
 Gerald Neiser



SURVEYOR'S CERTIFICATE

I, Ernest E. Miller, Sr., a Professional Land Surveyor registered in the State of Nevada, certify that I have made a personal inspection of the monumented corners and monuments shown on this parcel map, and that my direct responsibility of this business is, in accordance with the Nevada Survey Act, Chapter 217B, and the access, drainage and public utility easements shown on said parcel map are hereby granted.



UTILITY COMPANIES CERTIFICATE

The utility easements shown on this parcel map have been checked, completed and approved by the undersigned:
 David Pacific Power Company
 D. J. Conrath
 TCT of Nevada, Reno

WATER RIGHT DEDICATION CERTIFICATE

The water easements set forth in Article 422 of the Nevada Constitution are hereby dedicated to the public use of the State of Nevada, and the collection of water easements here have been made by the undersigned:
 Washoe County Public Utility District

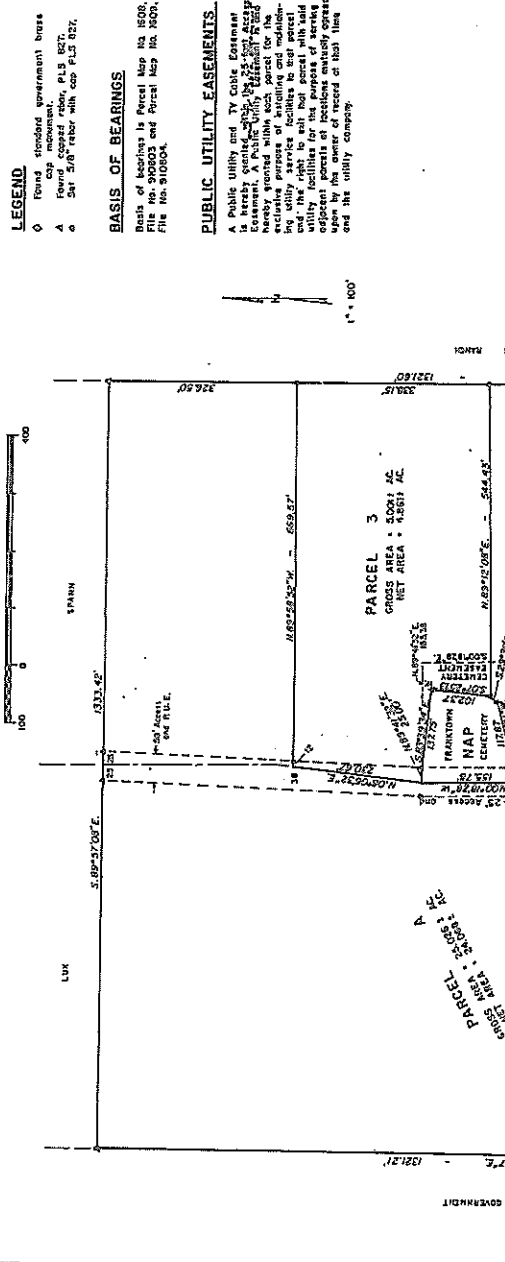
DEPARTMENT OF DEVELOPMENT REVIEW CERTIFICATE

This filed map is approved and accepted as this day of December, 1995 by the Department of Development Review of Washoe County, Nevada.
 [Signature]
 Director

PARCEL MAP FOR HEIDENREICH FAMILY TRUST
 PARCELLING OF SE 1/4 SE 1/4 OF SEC. 4 T. 16 N., R. 19 E., M. D. B. & M. WASHOE COUNTY, NEVADA

PLAT NO. 2054549
 SHEET 1 OF 1

Parcel Map 3142



TAXATION CERTIFICATE

The undersigned hereby certifies that the property taxes on the land shown herein have been paid for the fiscal year.
 [Signature]
 Washoe County Treasurer
 By: [Signature] Deputy Date: 11-17-96

1" = 30'

UTILITY EASEMENTS

A utility easement is hereby granted 30' in width along each side of all lines shown on this map, with a 15' minimum width along the line side of all parcels.

RECORDERS CERTIFICATE

Filed for record on the request of Ernest E. Miller, Sr., a Professional Land Surveyor registered in the State of Nevada, the records of Washoe County, Nevada.
 [Signature]
 County Recorder
 By: [Signature] Deputy

DRAINAGE EASEMENTS

A Drainage Easement shall be dedicated 30 feet in width along all intermittent stream drain channels.

TITLE COMPANY CERTIFICATE

The undersigned hereby certifies that this map has been examined and the subscriber offering this map is the best title holder of record for all the lands delineated hereon. There are no liens from recorded files or encumbrances which are not shown on this map under Document No. 2021807 of August 15, 1995.
 Date: 11-17-96
 Northern Nevada Title Company
 [Signature]
 President

IRRIGATION DITCH EASEMENT

A Ditch Easement for access and maintenance is hereby set out and granted to holders of water rights in this area. The easement shall be 15 feet on each side of the ditch, including the ditch described.

FRANKTOWN CREEK

A setback distance is hereby set of 30 feet on each side of the centerline described herein.

FEMA FLOOD PLAIN

Any development or improvement in the flood plain area depicted on this plat must comply with the Washoe County Flood Hazard Ordinance.

VICINITY SKETCH

MAP AREA
 Total area of this Parcel Map is 40,062 Acres.

COMPLIANT WITH NEVADA SURVEY ACT SHOULD BE EXAMINED FOR ANY DISCREPANCY OR CHANGE TO THE MAP

IRRIGATION DITCH EASEMENT

A Ditch Easement for access and maintenance is hereby granted to the owner of the tract of land represented on this plat, to be used for the purpose of conveying water rights through existing ditches which are shown on each map of the ditch certificate herein described.

DRAINAGE EASEMENT

A Drainage Easement shall be maintained to that width along all International storm drain channels.

FRANKTOWN CREEK

A setback distance is hereby set of 30 feet on each side of the centerline of Franktown Creek to the outside thereof.

FEMA FLOOD PLAIN

Any development or improvement in the FEMA flood plain area depicted on this plat must comply with the Washoe County Flood Hazard Ordinance.

UTILITY EASEMENTS

A Public Utility Easement and TV Cable Easement is hereby granted along the 25-foot Access Easement, and 10 feet in width along each side of all interior parcel lines, 7.5 feet in width along the street side of the parcels, and an easement is also granted within each parcel for electric lines and for routing and maintaining utility services facilities to the extent necessary for the purposes agreed upon by the owner of record at that time and the utility company.

TITLE COMPANY CERTIFICATE

The undersigned hereby certifies that this plat has been prepared in accordance with the provisions of the law, is the best title holder of record for all the lands depicted herein and the lands are free from any liens, mortgages, judgments, or other encumbrances of record of trust under Document No. 2018007 of August 16, 1995.

Northern Nevada Title Company
By: *[Signature]* President
Date: 12-17-96

**DEPARTMENT OF DEVELOPMENT
RECORDS CERTIFICATE**

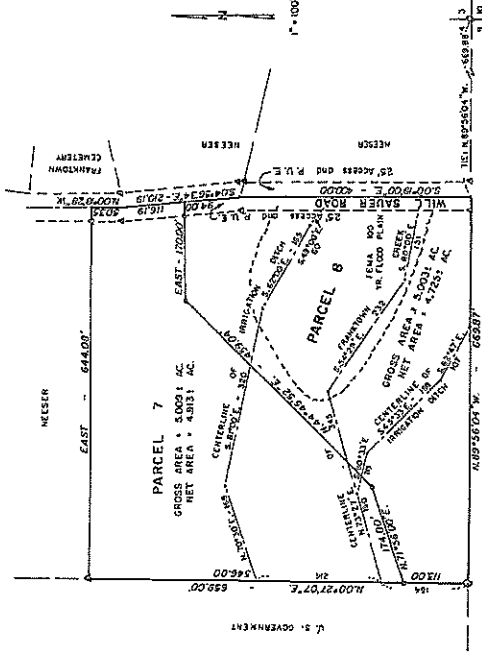
This final plat is approved and accepted on this 5th day of December, 1997 by the Department of Development of Washoe County, Nevada.

By: *[Signature]* Director

RECORDER'S CERTIFICATE

File No. 2055548 Per: 11700
I have the record of this plat as of the 17th day of December, 1997 at 9:00 a.m. in the office of the Recorder of Washoe County, Nevada.

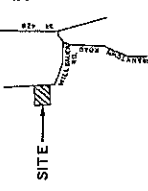
By: *[Signature]* County Recorder
C. Baxter Deputy



PARCEL 8 NOTE:
GENERAL DISPOSAL FOR
SOLID WASTE SHALL BE BY
EACH INDIVIDUAL BEYOND
SYSTEM OR COMMUNITY
DISPOSAL UNIT.

LEGEND

- Flood hazard government brass cap
- 50' setback from PLS 100' BEP
- 50' setback from COP PLS BEP



VICINITY SKETCH

MAP AREA

Total area of this Parcel Map is 10.001 Acres

TAXATION CERTIFICATE

The undersigned hereby certifies that the map-ary taxes on the land shown hereon have been paid for the fiscal year.

By: *[Signature]* Washoe County Treasurer

ACCESS

Access to these parcels from Franktown Road is described in recorded checks, Document No. 2018245 and No. 2048246.

2056548

OWNER'S CERTIFICATE

This is to certify that the undersigned, Gerald Heiser, is the owner of the tract of land represented on this plat, and that he is the owner of the same. He is not aware of any other person who claims an interest in this tract of land, and he is not aware of any other person who claims an interest in this tract of land.

NOTARY'S CERTIFICATE

STATE OF NEVADA
COUNTY OF WASHOE
On this 17th day of December 1996, personally appeared before me, Notary Public, Gerald Heiser, who is known to me to be the person whose name is subscribed to the foregoing instrument, and he acknowledged to me that he executed the above instrument freely and voluntarily for the uses and purposes therein.



SURVEYOR'S CERTIFICATE

I, Ernest E. Haller, Sr., a Professional Land Surveyor registered in the State of Nevada, certify that this plat represents the results of a survey conducted under my direct supervision at the instance of the owner of the land shown on this plat. The lands lie within the SE 1/4 of Section 4, T. 16 N., R. 19 E., M. D. B. M., and the survey was made in accordance with the applicable state statutes and any local ordinances in effect on the date the opening book gave its final approval. The corners shown, except the positions indicated, are of sufficient number and sufficiently located to locate the boundaries of the land shown on this plat.



UTILITY COMPANIES CERTIFICATE

The utility statements noted on this plat have been reviewed and approved by the following utility companies:
Nevada Electric Company
Nevada Gas Company
Nevada Telephone Company
Nevada Water Company
Nevada Sewer Company
Nevada Irrigation Company
Nevada Electric Company
Nevada Gas Company
Nevada Telephone Company
Nevada Water Company
Nevada Sewer Company
Nevada Irrigation Company

WATER RIGHT DEDICATION CERTIFICATE

The water requirements set forth in Article 42E of the Nevada Constitution have been satisfied. The dedication of water resources have been satisfied.

By: *[Signature]* Washoe County Utility Division

3 RD. PARCEL MAP
FOR
HEIDENREICH FAMILY TRUST
A DIVISION OF PARCEL 7B OF PARCEL MAP NO. 3203
PORTION OF SE 1/4, SE 1/4 OF SEC. 4
T. 16 N., R. 19 E., M. D. B. M.
WASHOE COUNTY, NEVADA

Parcel Map 3206

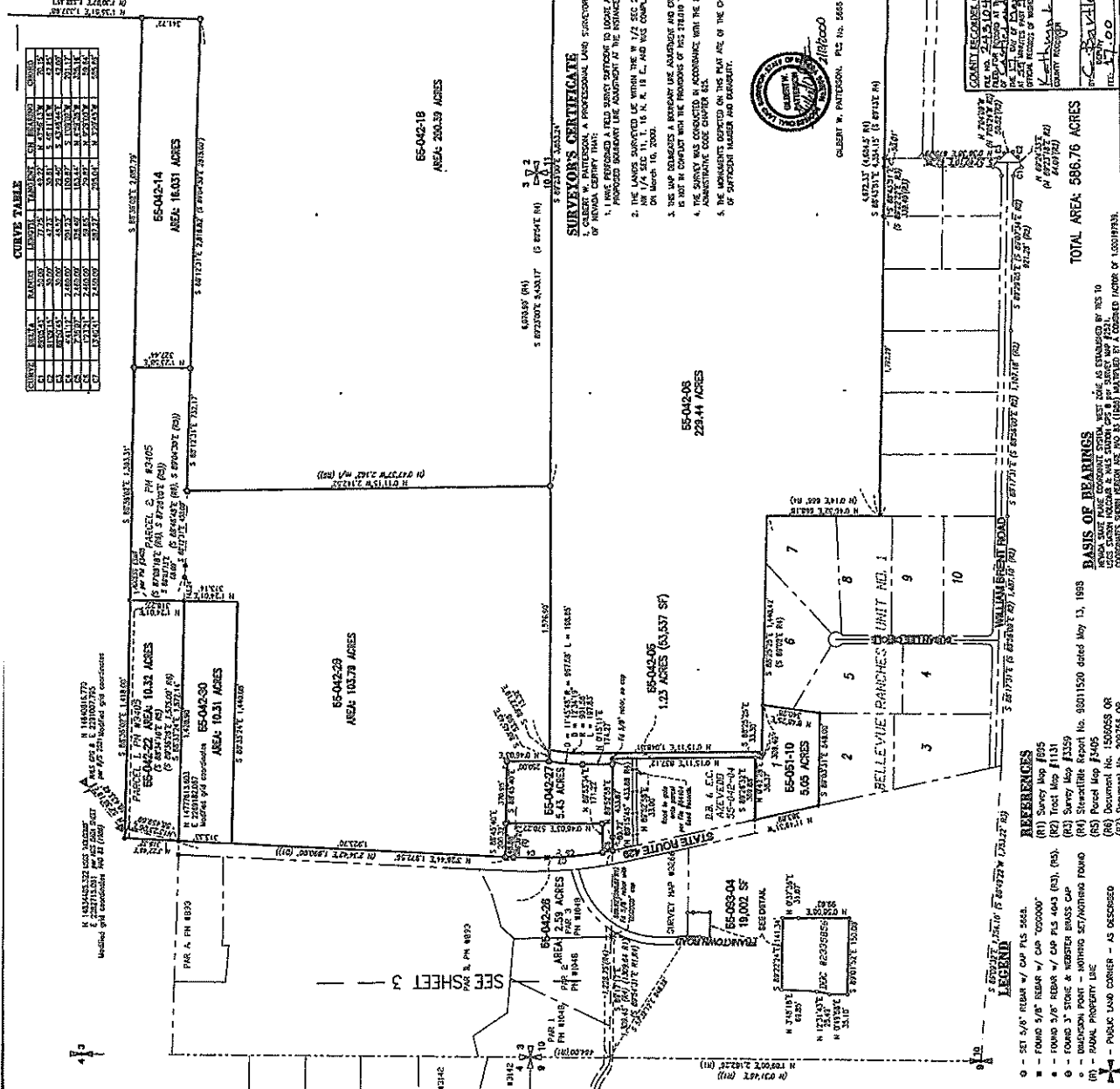
SHEET 1 OF 1

3206
CUMULATIVE BOOKS SHOULD BE EXAMINED FOR ANY DISCREPANCY THEREIN



SCALE 1" = 300'

CURVE	AREA	LENGTH	MARKING	CH. BEARING	CHORD
C1	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C2	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C3	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C4	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C5	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C6	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C7	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C8	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C9	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C10	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C11	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C12	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C13	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C14	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C15	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C16	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C17	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C18	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C19	200.54	77.75	85.97	N 42° 56' 15" W	20.18
C20	200.54	77.75	85.97	N 42° 56' 15" W	20.18



SURVEYOR'S CERTIFICATE

I, GILBERT W. PATTERSON, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, HAVE CONDUCTED A FIELD SURVEY OF THE ABOVE DESCRIBED PARCELS AND HAVE FOUND THE SAME TO BE CORRECTLY SURVEYED AND ACCORDING TO THE RECORDS OF THE COUNTY OF WASHOE, NEVADA.

2. THE LANDS SURVEYED ARE WITHIN THE W 1/2 SEC 2, S 1/2 SEC 3, NORTH 1/2 SEC 4 & NW 1/4 SEC 11, T. 16 N., R. 18 E., M.D.E. & M., AND WAS COMPLETED ON MARCH 16, 2000.

3. THE LAW REQUIRES A BENCHMARK BE PLACED AND CREATED IN NEW PARCELS AND IS NOT IN COMPLIANCE WITH THE PROVISIONS OF THE NEVADA

4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE NEVADA

5. THE ADJACENT PARCELS ON THE EAST ARE OF THE CHARACTER SHOWN AND ARE BY PATTERSON HANSEN AND BARNETT.



GILBERT W. PATTERSON, PLS No. 2665

GEORGE W. CALLEHOT FAMILY TRUST

RECORD OF SURVEY

CLARK COUNTY, NEVADA, SECTION 10, T. 16 N., R. 18 E., M.D.E. & M., NORTH 1/2 OF SECTION 10 & NW 1/4 SECTION 11, SECTION 11, WASHOE COUNTY, NEVADA

CASTLELAND SURVEYING

241 Lakeside, Reno, NV 89502
775-784-1111
www.castleland.com

Sheet 1 of 3

TOTAL AREA: 586.76 ACRES

BASIS OF BEARINGS

NEED TO BE ESTABLISHED BY THE 10
ADJACENT PARCELS & WILL BE SHOWN BY THE SURVEY MAP #221
COMPARISON POINT BEING THE NO. 15 (TOWNSHIP) CORNER OF SECTION 10.

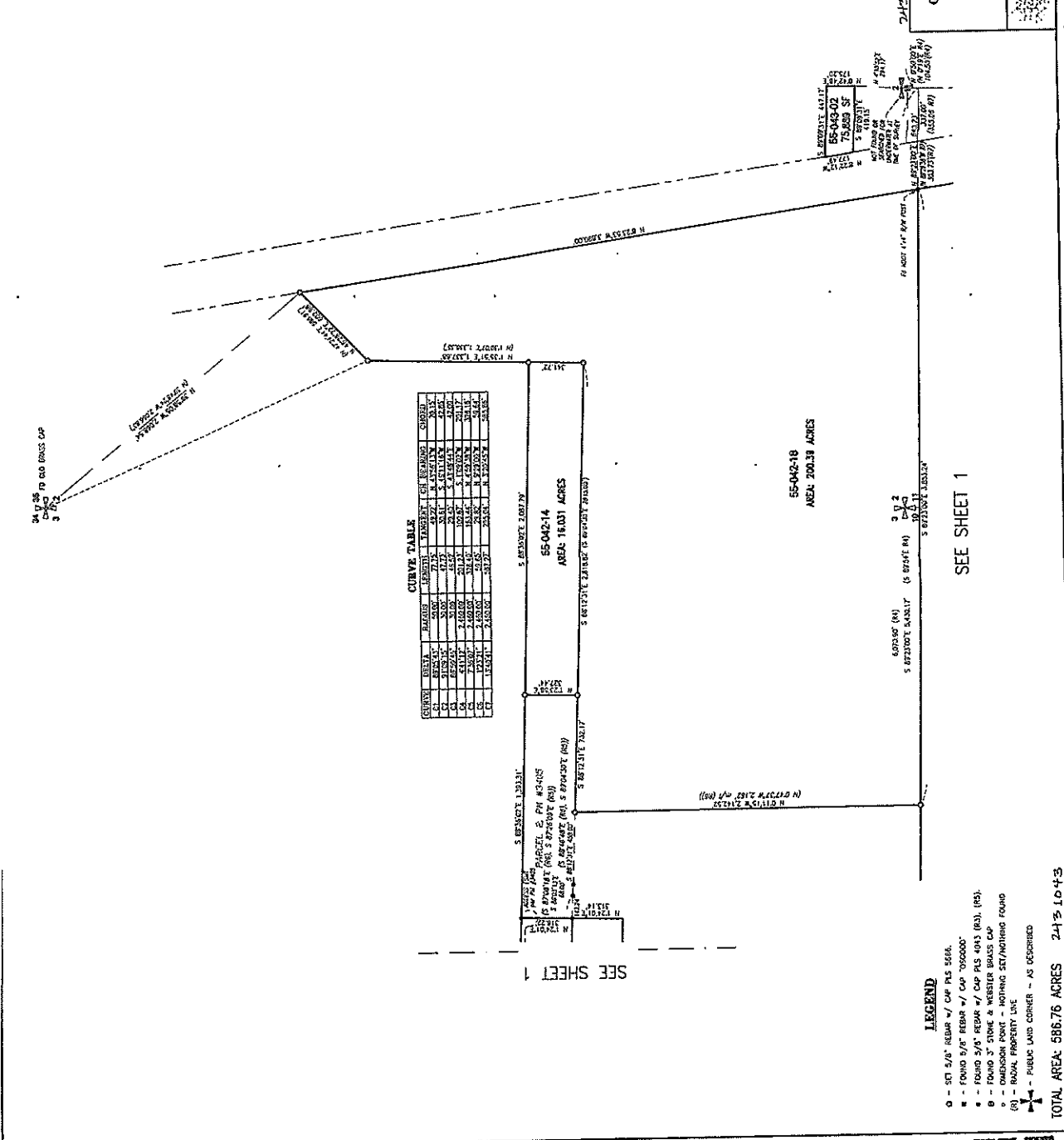
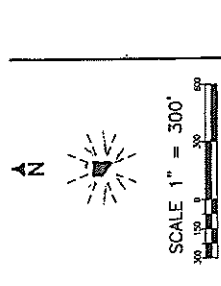
REFERENCES

(1) Survey Map #695
(2) Tract Map #1131
(3) Survey Map #1159
(4) Statewide Report No. 93011520 dated May 13, 1995
(5) Parcel Map #1405
(6) Document No. 1504555 OR
(7) Document No. 2097255 OR

LEGEND

0 - SET 5/8" BEAR W/ CAP PLS 5664.
1 - FOUND 5/8" BEAR W/ CAP PLS 700000
2 - FOUND 3/8" BEAR W/ CAP PLS 4643 (PL), (PL)
3 - FOUND 3" STAKE & WOODEN BRASS CAP
4 - BOUNDARY POINT - NOTHING SET/PAINTED FOUND
(R) - RAILROAD PROPERTY LINE
+ - PUBLIC LAND CORNER - AS DESCRIBED

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE



CURVE TABLE

CURVE	DATA	BEARING	LENGTH	CHORD	CHORD BEARING
C1	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C2	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C3	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C4	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C5	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C6	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E
C7	88.2714	S 89°00'00" E	100.00	100.00	S 89°00'00" E

55-042-18
AREA 200.38 ACRES

55-042-14
AREA 16.031 ACRES

24-25-10-4-3
CLERK OF DISTRICT COURT, WASHINGTON COUNTY, NEVADA
RECORD OF SURVEY
GEORGE W. GILLEMOT FAMILY TRUST
PORTIONS OF THE SOUTH HALF, SECTION 3,
T4S, R10E, NE1/4, NE1/4, NE1/4, NE1/4, NE1/4,
WASHINGTON COUNTY, NEVADA
CASTLE LAND SURVEYING
240 Lincoln St., Reno, NV 89502
775-784-8800 (775) 784-8801 fax
www.castleland.com

55-042-18
AREA 200.38 ACRES

55-042-14
AREA 16.031 ACRES

SEE SHEET 1

SEE SHEET 1

LEGEND
 O - SET 5/8" REBAR w/ CAP PER AREA
 * - FOUND 5/8" REBAR w/ CAP PER AREA (RS)
 D - FOUND 3/4" REBAR w/ CAP PER AREA (RS)
 B - FOUND 3" DIAMETER REBAR CAP
 (R) - RADIAL PROPERTY LINE NOTHING SET/NOTHING FOUND
 T - PUBLIC LAND CORNER - AS DESCRIBED

TOTAL AREA 586.76 ACRES
24-25-10-4-3

3750A
CLERK OF DISTRICT COURT, WASHINGTON COUNTY, NEVADA
RECORD OF SURVEY
GEORGE W. GILLEMOT FAMILY TRUST
PORTIONS OF THE SOUTH HALF, SECTION 3,
T4S, R10E, NE1/4, NE1/4, NE1/4, NE1/4, NE1/4,
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SEE SHEET 1

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LEGEND
 O - SET 5/8" REBAR w/ CAP PER AREA
 * - FOUND 5/8" REBAR w/ CAP PER AREA (RS)
 D - FOUND 3/4" REBAR w/ CAP PER AREA (RS)
 B - FOUND 3" DIAMETER REBAR CAP
 (R) - RADIAL PROPERTY LINE NOTHING SET/NOTHING FOUND
 T - PUBLIC LAND CORNER - AS DESCRIBED

TOTAL AREA 586.76 ACRES
24-25-10-4-3

SB15-004
EXHIBIT F

